

Notice of meeting of the
Lazo North (Area B)
Advisory Planning Commission

Thursday, August 16, 2018

To be held in the Comox Valley Regional District boardroom
Located at 550B Comox Road, Courtenay, BC commencing at 7:00 pm

- PAGE**
1. Call to order and recognition of traditional territories
 - 2** 2. Receipt of the minutes of the June 27, 2018 Lazo North (Area B) Advisory Planning Commission meeting
 - 4** 3. Memorandum dated July 18 2018, regarding 6410-01/PJ 4CV 15 – Comprehensive Zoning Bylaw Review.

Note: Please access Appendix B (the attachment to the staff report attached to the memo) through the link below due to its size
<ftp://ftp.comoxvalleyrd.ca/ForZoningStaffReport>
 - 164** 4. Memorandum dated July 18, 2018, regarding 3060-20 / DP 11B 18 Development Permit – 1690 Ryan Rd (Commercial and Industrial Form and Character)
 5. Status update on APC recommendations – Verbal update regarding Electoral Area Services Committee and board decisions related to APC recommendations
 6. Next meeting date: Scheduled for Thursday, September 6, 2018

Addendum

- 178** Memorandum dated August 7, 2018, regarding 3060-20/DP 17B 18 – Development Permit Application – 1671, 1673 and 1675 Ryan Road East (Lenco, Fernco, Norco)
- 185** Memorandum dated August 9, 2018, regarding PJ 1B 18 – proposed telecommunication tower - 1901 Larch Road (Freedom Mobile Inc.)

Minutes of the meeting of the Electoral Area B Lazo North Advisory Planning Commission of the Comox Valley Regional District held on Thursday June 27, 2018 in the Comox Valley Regional District boardroom, located at 550B Comox Road, Courtenay, BC, commencing at 6:10 pm

PRESENT:	Chair	Stan Hartfelder
	Members	David Battle Dean Maxwell
ABSENT:	Members	Norman Reader Janet Crockett Danielle Fortosky
ALSO PRESENT:	Electoral Area Director	Rod Nichol
	Assistant Manager of Planning Services	Ton Trieu
	Proponent for DV 3B 18	Jonathon Woods

Agenda Items

Call to Order and Recognition of Traditional Territories

The Chair called the meeting to order and acknowledged that the meeting was being held on the unceded traditional territory of the K'ómoks First Nation.

Minutes of Advisory Planning Commission Meeting

BATTLE /MAXWELL: THAT the minutes of the Electoral Area B (Lazo North) Advisory Planning Commission meeting held on Thursday, March 22, 2018 be received.

CARRIED

3360-20/RZ 1CV 18 – Zoning Bylaw Amendment Application – To Prohibit Non-Medical Cannabis Retail and Production (CVRD)

BATTLE/MAXWELL: THAT the Area B Advisory Planning Commission support Zoning Bylaw Amendment Application RZ 1CV 18 to prohibit the production and retail sale of non-medical cannabis in the electoral areas, while noting areas of concern such as noise, traffic and use of prime agricultural land for non-food greenhouse production.

CARRIED

3060-20/ DV 3B 18 – Development Variance Permit Application – 2651 Baxter Road (Woods)

BATTLE/MAXWELL: THAT the Area B Advisory Planning Commission support Development Variance Permit Application DV 3B 18 for 2651 Baxter Road (Woods) as presented.

CARRIED

3350-20/CP 1CV 18 - Official Community Plan Amendment Application – *Local Government Act* Section 514

BATTLE/MAXWELL: THAT the Area B Advisory Planning Commission support Official Community Plan Amendment Application CP 1CV 18 to remove Section 44.(6) of the Official Community Plan (OCP) that requires parcels proposed for subdivision in the electoral areas, in accordance with Section 514 (subdivision to provide residence for a relative) of the *Local Government Act* (RSBC, 2015, c. 1) (LGA), be two times the size of the minimum parcel size required in the zoning.

CARRIED

Status update on APC recommendations

Ton Trieu, Assistant Manager of Planning Services, provided an update regarding Electoral Area Services Committee and board decisions related to APC recommendations.

Next Meeting Date

The next Electoral Area B (Lazo North) Advisory Planning Commission meeting is scheduled for Thursday, August 2, 2018 in the Comox Valley Regional District boardroom, located at 550B Comox Road, Courtenay, BC, commencing at 7:00 pm.

Termination

MAXWELL/BATTLE: THAT the meeting terminate.

CARRIED

Time: 7:00 pm

Recording Secretary:
David Battle

Chair:
Stan Hartfelder

Received by the Electoral Areas Services Committee on the ____ day of _____, 20__.

Memo

File: 6410-01/PJ 4CV 15

DATE: July 18, 2018

TO: Advisory Planning Commission
Lazo North (Electoral Area B)

FROM: Planning and Development Services Branch

RE: **Comprehensive Zoning Bylaw Review**

The attached draft Rural Comox Valley Zoning Bylaw No. 520, 2018 is for commission members' review and comment.

The Comox Valley Regional District (CVRD) is reviewing the Zoning Bylaw to align the CVRD's regulations with the policies and goals in Official Community Plan (OCP) (adopted in 2014) and the Regional Growth Strategy (adopted in 2011).

The Comox Valley Zoning Bylaw No. 2781 was adopted in 2005. The document has been amended over fifty-one times since its adoption. Amendments have ranged from relatively minor amendments, to enable site specific development proposals to major amendments to respond to new legislation, changing development patterns and land use trends. Each change has required the CVRD Board's adoption of an amending bylaw. The current Zoning Bylaw has served its purpose for thirteen years and is in need of a review and update. The primary objective of this review will be to ensure that it is consistent with the OCP. Staff have identified the key policy themes that underlie the bylaw review, including the following:

- Support agriculture and aquaculture by aligning with new Agricultural Land Commission regulations and Ministry of Agriculture new bylaw standards for agri-tourism and aquaculture best practices;
- Support rural living by updating home occupation provisions for clarity and compatibility;
- Support aging in place by modernization of accessory building unit regulations to provide flexibility;
- Enable implementation of sustainability principles through built form (e.g. solar panel, wind energy devices); and
- Support rural economic development by expanding the number of zones where agricultural, upland aquaculture, commercial and industrial uses are permitted.

The purpose of a Zoning Bylaw is to implement the policies of the OCP. However, because Section 479 of the *Local Government Act* (RSBC, 2015, c. 1) is specific on what can and cannot be regulated through zoning, not all OCP policies are appropriate or permitted for implementation through a zoning bylaw. Section 479 authorizes the local government to regulate the use, size and siting of land and buildings. Section 479 does not provide the authority to regulate matters such as nuisance, colour, architectural theme or aesthetics. Land use designations identified on zoning bylaw maps are

more detailed than those of the OCP Bylaw, and are accompanied by text that outlines a specific range of permitted uses, densities, siting and building form. The zoning bylaw includes more specific policy direction in the form of a regulation, and includes:

- **Definitions** for the interpretation of key components of land use regulation;
- **General Regulations** which outline various land uses and conditions applicable to the Plan Area on a broad scale; and
- **Specific Regulations** for various land uses and conditions specific to specified areas or zones within the Plan Area (including residential, agricultural, commercial, industrial, and resource areas).

For more information, please refer to the attached staff report dated June 29, 2018 which was presented to the Electoral Areas Services Committee on July 9, 2018.

Thank you for your review.

Sincerely,

T. Trieu

Ton Trieu, MCIP, RPP
Assistant Manager of Planning Services
Planning and Development Services Branch

\tt

Attachments: "Staff Report Dated June 29, 2018"

DATE: June 29, 2018**FILE:** 6410-01/PJ 4CV 15**TO:** Chair and Directors
Electoral Areas Services Committee**FROM:** Russell Dyson
Chief Administrative OfficerSupported by Russell Dyson
Chief Administrative OfficerJ. Warren (for)**RE: Comprehensive Rural Zoning Bylaw Review****Purpose**

The purpose of this report is to present the draft Rural Comox Valley Zoning Bylaw (Appendix A) for first reading and recommend that a public hearing date be set.

Recommendation from the Chief Administrative Officer:

THAT the board give first reading of Bylaw No. 520, 2018 being the “Rural Comox Valley Zoning Bylaw No. 520, 2018;

AND FINALLY THAT pursuant to Section 464(1) of the *Local Government Act* (RSBC, 2015, c. 1), the board schedule a public hearing for Bylaw No. 520, being the “Rural Comox Valley Zoning Bylaw No. 520, 2018.

Executive Summary

- The comprehensive zoning bylaw review is a corporate strategic priority for the Comox Valley Regional District (CVRD).
- The need for the current comprehensive zoning bylaw review has arisen from the adoption of the Official Community Plan (OCP), new federal and provincial legislation, changing development patterns and land use trends.
- Once completed, the draft Rural Comox Valley Zoning Bylaw No. 520, 2018 (Appendices A and B) will replace the CVRD’s current 13 year old Zoning Bylaw. The Zoning Bylaw has been amended over 51 times.
- On June 26, 2018, the CVRD Board adopted a resolution to endorse the agency referral list and directed staff to commence the First Nations and external agency referral process.
- External agency and First Nations referrals are still ongoing and feedback from the referral process will be provided at a future electoral areas services committee meeting.
- The proposed date for a statutory public hearing will be late August or early September 2018 prior to second and third reading. Any individual or agency can provide comments until the termination of the public hearing.
- Staff recommends that the Zoning Bylaw be given first reading, and a statutory public hearing be set for this bylaw.

Prepared by:

Concurrence:

T. Trieu***A. Mullaly***

Ton Trieu, MCIP, RPP
Assistant Manager of Planning
Services

Alana Mullaly, M.Pl., MCIP, RPP
Acting General Manager of Planning
and Development Services Branch

Background/Current Situation

A comprehensive zoning bylaw review is a corporate strategic priority for the CVRD. Over the last 13 years, the current Zoning Bylaw has been amended over 51 times, both to rezone properties and to make text amendments. This review will bring the Zoning Bylaw into conformity with the new OCP adopted in 2014, as well as improve clarity and readability, and address current issues. Staff have identified the key policy themes that underlie the bylaw review, including the following:

- Support agriculture and aquaculture by aligning with new Agricultural Land Commission regulations and Ministry of Agriculture new bylaw standards for agri-tourism and aquaculture best practices.
- Support rural living by updating home occupation provisions for clarity and compatibility.
- Support aging in place by modernization of accessory building unit regulations to provide design flexibility.
- Enable implementation of sustainability principles through built form (e.g. solar panel, wind energy devices).
- Support rural economic development by expanding the number of zones where agricultural, upland aquaculture, commercial and industrial uses are permitted.

Proposed Changes to the Rural Comox Valley Zoning Bylaw No. 520, 2018

The proposed draft Rural Comox Valley Zoning Bylaw No. 520, 2018 will replace the current Zoning Bylaw. Some changes are minor, such as providing clarity to existing definitions, formatting and the re-organization of sections of the Zoning Bylaw. Other changes are more substantial, such as the addition of new definitions, creation of new zones, removal of existing zones and implementation of sustainability principles through built form. The following are some of the key changes to the proposed Zoning Bylaw identified during the public consultation process, new federal and provincial legislation and land use trends.

1. Modernized for Clarity, Interpretation and Administration
 - Removal of definitions that are no longer relevant or has been consolidated into other definitions (e.g. shellfish aquaculture, helipad, model aircraft flying);
 - Addition of new definitions (e.g. accessory dwelling unit, gross floor area, fence); and
 - Amendment of existing definitions to make them more clear and up-to-date (e.g. mobile home, office, retail sales).
 - General regulations which are dispersed in different sections have been grouped under one section.
2. Incorporate New Federal and Provincial Legislation
Incorporate new federal and provincial regulations and eliminate old regulations:
 - Ensure that the new regulations are consistent with federal and provincial legislation.
3. Support Rural Living
Expand Home Occupation and Domestic Industrial use provisions:
 - Define commercial vehicle;
 - Balance residential use with business by restricting number of students (e.g. max. of eight patrons or students that is connected to a Home Occupation); and

- Allowing Domestic Industrial use on lands greater than 2.0 hectares.
4. Enable Innovation Through Built Forms
To address implementation and functionality challenges to support rural living:
 - Provide design flexibility in the design and layout of carriage houses (e.g. permit internal stair case, increase height, design flexibility in floor area); and accessory building (e.g. increase height for accessory building in rural zones).
 5. Modernize Zones
Elimination of existing zones and establishment of new zones:
 - Number of aquaculture use zones has been reduced by combining similar zones (e.g. Aquaculture Two zone is combined to one Aquaculture zone and Aquaculture Three and Four zones are combined to Upland Aquaculture Facility zone);
 - Delete repetitive or unused zones (e.g. Commercial Composting zone, Industrial Storage zone); and
 - Create new zone (e.g. Drinking Water Protection zone).
 6. Respond to Emerging Trends
Capture new land use trends:
 - Permit community gardens in all zones;
 - Broaden opportunities for local community-based sustainable food production (e.g. permit back yard chickens, beehives and produce stands on lots 2000 square meters or larger); and
 - Prohibit vacation rentals/ short term rentals unless a Temporary Use Permit or rezoning of the land in an effort to protect rental housing stock (e.g. conversion of residential dwelling into tourist commercial).
 7. Introduce Sign Regulations
 - Restrict sign area, height, number of signs, setbacks and height (e.g. Home Occupation, Domestic Industrial, Commercial, Industrial zones); and
 - Prohibit certain signs (e.g. third party signs, flashing, animated signs).
 8. Protect Functioning Working Landscape
Reduce interface conflict between residential uses and active working landscape
 - Only permit residential use as an accessory use (e.g. Upland Resource zone, and Water Supply and Resource Area zone).
 9. Update Zoning Maps (Appendix B)
 - Reduce split zone properties;
 - Reduce unused zones (e.g. Commercial Composting); and
 - Reduce zones that are repetitive (e.g. Residential One-B zone, Residential One zone, Residential One-D zone, Residential Two zone, Residential Rural zone, Country Residential Two zone).
 10. Other Significant Changes
Rural Comox Valley Zoning Bylaw No. 520, 2018 also includes the following changes:
 - Minimum setback requirements for Animal Kennel use;
 - Consolidate fencing and screening regulations into one section;
 - Expansion of areas where craft beverage processing (e.g. permitted in Commercial zones) and veterinary establishment use (e.g. commercial and industrial zones) are permitted;
 - Expansion in areas where general contractor and storage yard (e.g. permitted in Industrial Light and Industrial Heavy zones) are permitted;
 - Remove regulations on lot line adjustment (e.g. would involve a change of no more than 25 per cent of the smaller lot involved);

- Include height and setback provisions to enable sustainable technologies (solar and turbines height exemptions); and
- Watercourse setbacks for buildings and structures (e.g. consistent with Floodplain Regulations Bylaw).

It is anticipated that the proposed Zoning Bylaw will result in some current uses becoming non-conforming, however; it should be noted that the Section 528 of the *Local Government Act* (RSBC, 2015, c. 1) (LGA) allows the non-conforming use to continue to be performed on the property as long as it's not discontinued for a period greater than six months. Staff have endeavoured to create as little non-conforming use as possible and estimate that ten properties may be affected. Staff will be contacting all owners of split zoned properties where changes are proposed. An open house will be held in early August to provide an additional opportunity for the public to obtain information about the Zoning Bylaw and obtain public input in advance of the statutory public hearing. Following the open house, the input and suggestions received will be assessed and incorporated into the draft zoning bylaw as appropriate.

On June 26, 2018, the board endorsed the agency referral list and directed staff to commence the First Nations and external agency referral process. On June 27, 2018, staff sent out the referrals, and referrals are still ongoing and feedback from the referral process will be provided at a future Electoral Areas Services Committee (EASC) meeting. The statutory adoption process for the project is as follows:

Task	Completion date
Statutory adoption process <ul style="list-style-type: none"> • Present draft bylaw to EASC and request for external and First Nations referral • First reading of zoning bylaw. Set public hearing date • Public hearing (Note individuals or agencies can provide comments until the termination of the public hearing) • EASC review of public hearing report/second and third reading of zoning bylaw • Ministry of Transportation and Infrastructure approval • Final adoption 	<ul style="list-style-type: none"> • June 2018 (completed) • July 2018 • Late August or early September 2018 • September 2018 • September 2018 • October 2018

Policy Analysis

Part 13 “*Regional Growth Strategies*,” Section 445 of the LGA requires that all bylaws and services undertaken by the board be consistent with the CVRD Regional Growth Strategy (RGS) following adoption of the RGS.

Part 14 “*Planning and Land Use Management*,” of the LGA provides that a local government may regulate zoning. Section 479 of the LGA authorizes a local government to regulate the use, density, size and shape of land, buildings and structures. Section 464 states that a local government must hold a public hearing before adopting a Zoning Bylaw. Section 466 outlines the procedures to be followed in respect to public notification of the proposed bylaw.

Options

1. Grant first reading of the Rural Comox Valley Zoning Bylaw No. 520, 2018 and set a date for the public hearing.
2. Refer the draft Rural Comox Valley Zoning Bylaw back to staff with direction on revisions.

Based on the discussion contained within this report, staff recommends option 1.

Financial Factors

Key costs have pertained to staff time. Costs for legal review and advertising were included in function 500's (planning) approved 2018 financial plan.

Legal Factors

This report and the recommendation contained herein are in compliance with the LGA and CVRD bylaws. The LGA authorizes a local government to regulate through zoning, the use, density, size and shape of land, buildings and structures.

The draft Rural Comox Valley Zoning Bylaw No. 520, 2018 has been legally reviewed to ensure compliance with all bylaws, regulatory and statutory frameworks.

Regional Growth Strategy Implications

Section 445 of the LGA requires that all bylaws and services undertaken by the board be consistent with the CVRD's RGS. The RGS is implemented, in part, via the OCP and Zoning Bylaw. The OCP is a key strategic bylaw that contains land use designation and policies outlining the vision for a community. The OCP helps guide decisions with respect to planning and development with the intent to serve the current and future needs of the community. The CVRD recently undertook the review and update of its policies to develop a new OCP. Following the adoption of the OCP in November 2014, staff commenced the zoning bylaw review to incorporate the policies of the OCP. There are key OCP policies that that now need to be implemented, such as:

- Support resource development in the resource designation zones by permitting residential use as an accessory use only (limited to one single detached dwelling) (Policy 63.2);
- Require Temporary Use Permit or a rezoning of a property to an industrial category to permit processing of aggregate or minerals on resource parcels (Policy 64.2);
- Support aquaculture by permitting dock-side sales and limited on-site sales of aquaculture products (retail sales as an accessory use in aquaculture zones) (Policy 70.5) ; and
- Support agriculture on smaller parcels by permitting agriculture use (Policy 50.5).

Intergovernmental Factors

The draft Rural Comox Valley Zoning Bylaw No. 520, 2018 will be referred to external agency and First Nations in accordance with the referrals management program. Feedback from the referral process will be provided at a future EASC meeting.

Interdepartmental Involvement

Staff within the corporate services branch, community services branch, and engineering services branch have been consulted to develop the draft Rural Comox Valley Zoning Bylaw No 520, 2018.

Citizen/Public Relations

Staff will forward this proposal to the three electoral area Advisory Planning Commissions and the Agricultural Advisory Planning Commission for review and comment. Note that each of the Advisory Planning Commissions has received draft material for comments over the last year. Comments to date have been incorporated. Statutory notice requirements (e.g. public hearing) will

be addressed as the draft bylaw moves through the process. Note staff will report back with comments and a draft bylaw and receipt of public hearing meeting in September. Public hearing will be targeted for late August or early September.

Attachments: Appendix A – “Draft Rural Comox Valley Zoning Bylaw No. 520, 2018”

Appendix B – “Zoning Map Amendments”

see: <ftp://ftp.comoxvalleyrd.ca/ForZoningStaffReport>



Bylaw No.520

***“Comox Valley
Zoning Bylaw,
Bylaw No. 520, 2018”***

Comox Valley Regional District
Bylaw No. 520

**A bylaw to regulate land use and subdivision within the Comox Valley
area (Electoral Areas A, B and C) of the
Comox Valley Regional District**

The board of the Comox Valley Regional District in open meeting assembled, enacts the following:

Section One: Title

1. This bylaw may be cited for all purposes as Bylaw No. 520 being the **“Comox Valley Zoning Bylaw, Bylaw No. 520, 2018.”**

Section Two: Application

1. This bylaw shall be applicable to Electoral Areas A (excluding Denman and Hornby Islands), B and C (Comox Valley) of the Comox Valley Regional District.
2. Schedule A and Map Schedules A-1 through A-13 attached to this bylaw form part of this bylaw.

Section Three: Enactment and Repeal

1. Bylaw No. 2781, being the “Comox Valley Zoning Bylaw, 2005” and all amendments thereto, is hereby repealed.

DRAFT

Table of Contents

Page i

Part 100 Administration

101 Application 1

102 Permitted Uses 1

103 Buildings and Structures 1

104 Subdivision 2

105 Enforcement 2

106 Violation 2

107 Penalty 2

108 Appeals, Amendments and Permits 2

109 Severability 3

Part 200 Interpretation

Definitions 4

Part 300 General Regulations

301 Uses Permitted in All Zones 20

302 Uses Prohibited in All Zones 20

303 Agricultural Use 21

304 Domestic Agriculture 24

305 Home Occupation 25

306 Bed and Breakfast 26

307 Domestic Industrial Use 27

308 Mobile Vendors 28

309 Buildings and Structures 28

310 Fences 29

311 Watercourses 29

312 Renewable Energy Devices 30

313 Temporary Occupation of Additional Dwelling 30

314 Temporary Residential Occupancy of Recreational Vehicles 31

315 Residential Use 31

316 Secondary Residential Use 32

317 Portable Sawmills 33

318 Gravel Pits: Equipment Storage and Maintenance 33

319 Cannabis Production (Medical) 33

320 Off-Street Parking and Loading Areas 33

321 Buffers and Screening for Existing Industrial and Commercial Operations 34

322 Farm Buildings 34

323 Signage 34

Part 400 Siting Specifications

401 Sight Triangles 37

402 Road Setbacks 37

403 Siting Exceptions 37

Part 500 Subdivision Regulations

501 Subdivision Standards 39

Table of Contents

Page ii

Part 600	Mobile Home Park Regulations and Standards		
601	General Requirements		42
602	Occupancy		42
603	Standards		42
Part 700	Residential Zones		
701	Residential One	(R-1)	49
702	Residential One B	(R-1B)	51
703	Residential Rural	(R-RU)	53
704	Country Residential One	(CR-1)	55
705	Mobile Home Park	(MHP)	57
706	Residential Multiple	(RM)	58
Part 800	Rural / Resource Zones		
801	Rural Eight	(RU-8)	59
802	Rural Twenty	(RU-20)	62
802.1	Rural Twenty Density Bonus	(RU-20DB)	65
803	Rural ALR	(RU-ALR)	68
804	Upland Resource	(UR)	70
805	Water Supply and Resource Area	(WS-RA)	72
806	Drinking Water Protection	(DWP)	73
807	Aquaculture	(AQ)	74
808	Upland Aquaculture Facility	(UAF)	75
Part 900	Commercial / Industrial Zones		
901	Commercial One	(C-1)	78
902	Commercial One A	(C-1A)	81
903	Tourist Commercial One	(TC-1)	84
904	Tourist Commercial Two	(TC-2)	87
905	Rural Recreation One	(RR-1)	89
906	Industrial Light	(IL)	90
907	Industrial Heavy	(IH)	92
908	Industrial Marine	(IM)	95
909	Seafood Processing One	(SP-1)	97
910	Seafood Processing Aquaculture Facility One	(SPAF-1)	98
911	Commercial Agriculture	(CA)	100
912	Saratoga-Commercial Industrial	(S-CI)	102
913	Community Waste Management	(CWM)	105
Part 1000	Assembly Zones		
1001	Assembly	(A-1)	107
1002	Transportation Utility One	(TU-1)	108
Part 1100	Comprehensive Development Zones		
1101	Mt. Washington Comprehensive Development Zone	(MTW-CD)	109
1102	Kensington Comprehensive Development Zone	(K-CD)	113
	Appendix 1 – Comprehensive Development Areas	(K-CD)	115

Table of Contents

Page iii

	Appendix 2 - Off Street Parking	(K-CD)	116
	Appendix 3 - Density Bonus Provisions	(K-CD)	117
1102.1	Golf Course Residential	(GCR)	119
1102.2	Residential Public Facilities	(RPF)	122
1102.3	Mixed-Use Commercial-Residential	(MUCR)	125
1102.4	Mixed-Residential	(MR)	128
1102.5	Mixed-Residential / Institutional	(MRI)	131
1103	Saratoga Beach Estates Comprehensive Development Zone	(SBE-CD)	134
	Appendix 1 – Comprehensive Development Area Phase	(SBE-CD)	138
Part 1200	Exceptions to Zone Designations		
1201	Introduction		139
	Exception 1		140
	Exception 2		141
	Exception 3		142
	Exception 4		143
	Exception 5		144
	Exception 6		145
	Exception 7		146

Part 100**Administration****101 Application**

1. The provisions of this bylaw apply to that part of the Comox Valley Regional District contained within Electoral Areas A (excluding Denman and Hornby Islands), B and C shown on Schedules A-1 to A-13 which are attached hereto and form part of this bylaw.
2. Where a zone boundary is designated as following a road allowance or watercourse, the centre line of such road allowance or watercourse shall be the zone boundary.
3. Where a zone boundary does not follow a legally defined line and where the distances are not specifically indicated on Schedules A-1 to A-13, the location of the boundary shall be determined by scaling from the schedules.
4. Where a lot contains more than one zone:
 - i) Each zoned area shall be treated to be a separate lot for the purpose of determining compliance with the provisions of its zone.
 - ii) The zone that permits the greater residential density shall be used to determine the maximum number of dwellings that may be permitted on the lot.
5. Where a zone boundary abuts the sea, the natural boundary is the zone boundary.
6. Where two or more regulations within this bylaw conflict, the more restrictive regulation shall apply.

102 Permitted Uses

1. No land, surface of water, building, or structure in any zone shall be used for any purpose other than those specified for the zone in which it is located. Uses not expressly listed as a principal or accessory use within a zone, or otherwise permitted in this bylaw, are prohibited.
2. Existing lots with less than the required minimum lot area and frontage for subdivision may be used for the permitted uses in any zone, subject to compliance with other provisions identified in this bylaw.
3. Nothing in this bylaw exempts any person from complying with the applicable requirements of:
 - i) Any other bylaws of the Comox Valley Regional District.
 - ii) Any enactment of the federal or provincial government.

103 Buildings and Structures

1. No building or structure shall be constructed, reconstructed, altered, moved or extended by the owner, occupier or other person such that it contravenes the provisions of this bylaw.
2. No lot shall have constructed or placed upon it by the owner, occupier or other person, a greater density of buildings and structures than that permitted in the zone in which the lot is located.

104 Subdivision

1. No land, building or structure shall be subdivided in contravention of this bylaw.

105 Enforcement

1. The Chief Administrative Officer, Corporate Legislative Officer, Comox Valley Regional District officers, Manager of Planning Services and Planners, Manager of Building Services and Building Officials, Manager of Bylaw Compliance and Bylaw Compliance Officers and their delegates, are hereby appointed by the board pursuant to the *Local Government Act (RSBC, 2015, c. 1)* to administer this bylaw.
2. Persons referred to in Subsection (1) may enter at all reasonable times on any property that is subject to this bylaw to ascertain whether the requirements of the bylaw are being met or the regulations are being observed.

106 Violation

A person who is an owner or occupier of land commits an offence under this bylaw if that person does any of the following:

1. Uses land, the surface of water, a building or structure other than for a purpose specified for the zone in which the land, surface of water, building or structure is located.
2. Constructs, reconstructs, alters, moves or extends a building or structure so that the building or structure contravenes the provisions of this bylaw.
3. Constructs or places on a lot buildings or structures which exceed the density permitted by this bylaw in the zone in which the lot is located.
4. Causes or permits any act or thing to be done in contravention of any provision of this bylaw.
5. Fails to comply with an order, direction or notice given under this bylaw or prevents or obstructs or attempts to prevent or obstruct a person authorized under Section 105(1) from entering onto property.

107 Penalty

1. Any person who violates the provisions of this bylaw commits an offense and is liable upon conviction to a fine not exceeding ten thousand dollars (\$10,000.00) and not less than five hundred dollars (\$500.00), or imprisonment for a period not exceeding six (6) months, or both.

108 Appeals, Amendments and Permits

1. Exemptions, variances, permits and amendments may be approved pursuant to this bylaw or to the “Comox Valley Regional District Planning Procedures and Fees Bylaw No. 328, 2014,” and amendments thereto being Bylaw No. 328.

109 Severability

1. If any section or subsection of this bylaw is found to be invalid, it may be severed without affecting the validity of the remainder of the bylaw.

DRAFT

Part 200**Interpretation**

The following definitions shall be used to interpret this bylaw. Those definitions of terms defined in the *Local Government Act* (RSBC, 2015, c. 1), *Interpretation Act* or *Community Charter* that are identical to the statutory definitions are deemed to be amended if the statutory definition is amended.

“Abattoir” means a building or structure specially designed to accommodate the penning and slaughtering of animals and the preliminary processing of animal carcasses and may include the packing, treating, storing and sale of the product on the premises.

“Accessory” means customarily incidental and subordinate to a principal use of land, building or structure permitted on the same lot, or strata lot in the same strata plan if the accessory use is located on the common property in a strata plan.

“Accessory building” means a building or structure, the use of which is accessory to the principal permitted use of the lands, buildings or structures located on the same lot as the accessory use, or, in the case of common property in a strata plan, a principal use, building or structure on a strata lot within the same strata plan but excludes farm buildings where agricultural use is a principal use.

“Accessory dwelling unit” means an additional self-contained dwelling unit which is secondary to a principal dwelling unit which is located on the same legal lot as the principal dwelling unit. An accessory dwelling unit can take the built form of a secondary suite, carriage house or a secondary dwelling and is intended for residential use.

“Additional residence for farm use” means a building on a farm used as a home or residence by:

1. A full-time employee of the farm and his/her spouse and children.
2. A member of the land owner’s immediate family, as defined in the ALR Regulation.
3. Temporary farm worker(s).

“Affordable housing” means housing that is affordable to low and moderate income households. The commonly accepted standard of affordability is that housing costs do not exceed 30 per cent of a household’s gross income.

“Aggregate materials and products” includes processed aggregate materials such as sand and gravel, or related finished products such as bark mulch, soils, or composted materials. No onsite composting, processing, gravel crushing or screening is permitted.

“Agri-accommodation sleeping unit” means:

1. A bedroom or other area used as a bedroom within an agri-tourism accommodation cabin.
2. A tent or recreational vehicle on an agri-tourism accommodation campground.

“Agri-tourism” means a tourist activity, service or facility accessory to the agricultural use of the land that is classified as a ‘farm’ under the *Assessment Act*.

“Agricultural” means the use of land, buildings or structures for the growing, rearing, producing, packing, storing and harvesting and wholesaling of agricultural crops or raising livestock; includes processing crops grown on the land, the storage and repair of farm machinery and implements of husbandry used on that farm, and the storage, sale and processing of agricultural products harvested, reared or produced by the agricultural use. For the purpose of this bylaw, Agriculture also includes apiculture and aquaculture, but excludes intensive agriculture and cannabis production.

“**Animal kennel**” means any structure or premises in which animals are kept, boarded, bred, or trained for compensation.

“**Applicant**” means the owner of the property, or an agent of the owner, who has made an application under Bylaw No. 328, and amendments thereto, being the “Comox Valley Regional District Planning Procedures and Fees Bylaw No.328, 2014 of the Comox Valley Regional District.

“**Approving officer**” means Approving Officer designated as such pursuant to the *Land Title Act* or the *Strata Property Act* or other such regulations or legislation as may from time to time be adopted by the provincial government.

“**Aquaculture**” means the growing and cultivation of aquatic plants, invertebrates such as sea cucumbers, shellfish or fish, for commercial purposes, in any water and on land environment, including man-made containers of water.

“**Assembly use**” means the use of lands, buildings or structures which provides for the gathering of persons for religious, charitable, political, social, entertainment, philanthropic, recreational, cultural or educational purposes; may include places of worship, auditoria, community halls, daycare centres and similar uses.

“**Assisted living**” means a residential development that provides for primarily independent living, with limited service establishment, such as housekeeping and laundry services.

“**Automobile accessories**” includes minor automotive products such as vehicular lubricants, petroleum products, window washer fluid and anti-freeze.

“**Automobile body shop**” means a premise used or intended to be used for the repair and replacement of automobile body parts, and painting of automobiles but does not include the demolition of vehicles and storage of parts from derelict vehicles for this purpose.

“**Automobile service station**” means a premise used or intended to be primarily used for the selling and dispensing of vehicular fuels. The sale of automotive parts and accessories, as well as the washing or servicing and repair of vehicles, excluding body repairs. Is permitted in conjunction with an automobile service station.

“**Automobile wrecking yard**” means a place where two or more derelict vehicles are stored, kept, disassembled or repaired and where parts from derelict vehicles may be salvaged, purchased or reused.

“**Average natural grade level**” means that the average natural grade level at the perimeter of a building or structure, calculated by averaging the natural grade levels at the midpoints of all the exterior walls.

“**Barge facilities**” means an area on the surface of water together with a ramp facility at an adjacent upland location or a dock facility from an upland location extending into the water which allows for the movement of equipment or goods between a floating barge and the upland.

“**Bed and breakfast**” means a home occupation use that provides bedrooms within a principal dwelling unit and the first meal of the day for the temporary accommodation of the traveling public, but does not include boarding house (see Section 305).

“**Bee**” means the honey producing insect *Apis mellifera*.

“**Beehive**” means an enclosed, manmade structure which house a colony or worker-bees with a queen and drones.

“**Boarding house**” means a dwelling, or part thereof, in which furnished sleeping accommodations, with or without furnished meals, are provided for consideration to four or more persons as permanent accommodation.

“**Buffer**” means an area within a lot, generally adjacent to and parallel with a property line, consisting of either existing vegetation or created by use of trees, shrubs, berms and fencing, and designed to obscure views from adjacent lots or public roads by at least 50 per cent of the see-through visibility.

“**Building**” means a structure wholly or partly covered by a roof or roofs supported by walls or columns which is permanently affixed to the land and is intended for supporting or sheltering any use or occupancy.

“**Bulk storage**” means the storage of chemicals, petroleum products, water, and other materials in above-ground or below-ground containers for subsequent resale to distributors, retail dealers or outlets.

“**Campground**” means an area of land in which spaces are provided, occupied and managed for the temporary accommodation of the travelling public for a maximum length of stay of 120 days in a 12 month period, in tents or recreational vehicles which are licensed and have been brought to the site, and removed from the site by the travellers. It does not include cabins, hotels, mobile homes, or mobile home parks, motels.

“**Cannabis**” has the same meaning as in the *Cannabis Act* (Canada), subject to any prescribed modifications.

“**Cannabis production**” means the commercial production production, cultivation, synthesis, harvesting, altering, propagating, processing, packaging, storing and distribution of plants or scientific research of cannabis or cannabis products under the *Cannabis Act*.

“**Cannabis production (medical)**” means the commercial production, cultivation, synthesis, harvesting, altering, propagating, processing, packaging, storing and distribution of plants or scientific research of cannabis or cannabis products for medicinal purposes in accordance with a license issued by Health Canada under the *Access to Cannabis for Medical Purposes Regulation* (ACMPR).

“**Carriage house**” means a two storey building with up to 90.0 square metres of residential floor area on the second storey and non-residential floor area at grade. A carriage house is one form of accessory dwelling unit (see Section 316).

“**Camping site**” means an area within a campground that accommodates two tents or one recreational vehicle.

“**Chicken**” means a domesticated female chicken that is at least four months old.

“**Chicken coop**” means the part of a chicken enclosure constructed of solid walls on all sides and covered with a solid roof.

“**Chicken enclosure**” means an enclosed structure designed for the keeping of chickens and includes a run and a chicken coop.

“**Commercial use**” means an occupation, employment, personal service or enterprise that is carried on for gain or monetary profit by any person.

“**Commercial moorage**” means moorage which is used as part of the operation of a business or commercial service, or where a fee is charged or collected to moor or berth on a temporary basis.

“**Commercial vehicle**” means any self-propelled or towed vehicle engaged in carrying or designed to carry passengers, goods, wares or merchandised and licensed as a commercial vehicle.

“**Community care facility**” means a facility that is licensed or is under permit by the Province of BC pursuant to the *Community Care and Assisted Living Act*.

“**Community garden**” means the use of land for the growing and harvesting of plants, vegetable, or fruits for the sole use, donation or consumption by the individual or individuals growing or working the community garden. It shall not be considered as a required landscaping area or required landscaping.

“**Community sewerage system**” means a system of liquid waste collection, treatment, and disposal, which serves two or more dwelling units and is authorized under the *Environmental Management Act* or *Public Health Act*.

“**Community water system**” means a system for the carriage, distribution or supply of potable water, which serves two or more dwelling units and is authorized under the *Drinking Water Protection Act*.

“**Conference facilities**” means a building or structure designed and built to host conferences, exhibitions, large meetings, seminars and training sessions. A conference centre may also include offices and provides for a range of leisure activities.

“**Congregate care**” means a residential facility that provides a variety of health care and personal services, such as, but not limited to skilled nursing, housekeeping, personal care and meal preparation and service in a communal dining area.

“**Craft beverage processing**” means a building or structure used for processing, storing and retail sales of beer, cider, spirits, mead or wine produced by a micro-brewery, cidery, craft distillery, meadery or winery, and may include areas for sampling of beverage alcohols that are manufactured on site, retail display and sales for off-site consumption that complies with provincial liquor laws.

“**Density bonus**” means an incentive based planning tool that permits developers to increase the maximum allowable development on a property in exchange for helping the community achieve public policy goals. Increased density may be in the form of developed square footage, the number of developed units, or the number of created lots which can be used either on site or transferred off site.

“**Depth**” means the distance between the front lot line and the rear lot line or, in the case of a lot with water frontage, between the two front lot lines.

“**Derelict vehicle**” means the storage, collection or accumulation of all or part of any vehicle, including any recreational vehicle, camper, boat, or trailer, or any part thereof, which:

1. Is physically wrecked or disabled; or
2. Is not capable of operating under its own power; and
3. Is not validly registered and licensed in accordance with the *Motor Vehicle Act*.

“**Domestic agriculture**” means the agricultural use which satisfies the requirements of Section 304 of this bylaw.

“**Domestic industrial use**” means a use accessory to a principal residential use comprising the storage, parking, maintenance, service and repair of vehicles and equipment other than vehicles and equipment for agricultural use and includes fabricating, manufacturing, testing, service, repairing, and maintenance of goods or materials and wholesale and retail sales accessory to the fabricating, manufacturing, warehousing, testing, service repairing, or maintenance activity but does not include motor vehicle salvage, scrap salvage, wrecking yards and bulk storage.

“**Duplex dwelling**” means a building divided into two dwelling units neither of which is a mobile home or secondary suite.

“**Dwelling unit**” means a self-contained room or suite of rooms within a building that is operated as a housekeeping unit, or intended for use as residential premises for one household with sleeping and sanitary facilities and not more than one kitchen facility, but excludes recreational vehicles. An additional kitchen facility may be permitted where required by a provincial health agency to operate a home occupation or domestic industrial use involving food products.

“**Emergency services**” means the use of land, buildings, or structures for the provision of police, fire, ambulance, medical, first-aid and rescue services.

“**Environmentally sensitive areas**” means areas of land, or land and water, which contain fish or wildlife habitat, or terrain or vegetation which may be sensitive to development or disturbance including but not limited to wetlands, riparian areas, leave strips, remnants of old-growth forest, larger patches of mature forest, herbaceous communities, woodlands, vegetated coastal bluffs, and scarcely vegetated areas such as cliffs, sand dunes and spits, and sensitive ecosystems mapped under the *Sensitive Ecosystems Inventory* as produced by Environment Canada and the Ministry of Environment.

“**Fairground**” means an area used for the placement of stalls, booths or amusements for public entertainment and the sale of goods displayed in stalls, booths or outdoor display areas.

“**Farm**” means one or more lots operated as a farm business and assessed as a “Farm” by *Assessment Act*.

“**Farm building**” means a building or part thereof which does not contain a residential occupancy and which is associated with and located on, land devoted to the practice of agriculture, and used for the housing of equipment or livestock, or the production, storage or processing of agricultural or horticultural produce or feeds.

“**Farm product**” means a commodity that is produced from an agricultural use as classified within the *Agricultural Land Commission Act* and Agricultural Land Reserve Use, Subdivision and Procedure Regulation, B.C. Reg. No. 171/2002.

“**Fence**” means a constructed barrier of any material or combination of material erected to enclose or screen areas of land. For the purpose of calculating fence height, any archway, arbour, trellis or pergola affixed to or supported by a fence shall be deemed part of the fence.

“**Fish hatchery**” means a use providing for the incubation, hatching or rearing of fish.

“**Fish hatchery, community based**” means a salmonid enhancement project providing for the incubation, hatching or rearing of fish, involving non-profit societies, members of the public or community groups and typically located on private lands.

“**Float home**” means a structure built on a floatation system, which is used for residential use and which is not intended for navigation, or useable as a navigable craft.

“**Floor area**” means the space on a storey of a building measured between exterior walls and required firewalls, but does not include exits and vertical service spaces that pierce a storey.

“**Floor area ratio**” means the gross floor area of all buildings on a lot divided by lot area.

“**Foreshore**” means that land lying between the level of high tide and the level of the mean low tide.

“**Front lot line**” see “Lot line, front lot line”

“**Front yard**” means the area from of a lot between the front lot line to and a line drawn parallel to the front lot line equal to the minimum required building setback from the front lot line as illustrated in Figure 3. (See “Setback”.)

“**Frontage**” means the total length of all lot lines which adjoin a highway or access route in a strata plan and includes, in the case of a lot with water access only, that lot boundary fronting on a body of water.

“**Fuel**” includes any liquefied petroleum gas, automotive diesel, liquefied natural gas, compressed natural gas, ethanol, biodiesel and any substance that is sold or represented as vehicular fuel.

“**Gaming**” means the operating, carrying on, conducting and maintaining of games of chance and includes bingos, video lottery terminals, slot machines, roulette, craps tables, black jack, poker and similar games played for money or other consideration.

“**Gaming, charity**” means gaming ancillary to a scheme of charitable fund-raising operated by or on behalf of a charity registered under the *Income Tax Act (Canada)*.

“**Gambling establishment**” means the use of land, buildings or structures for gaming.

“**General contractor services and storage yard**” means the use of land, buildings or structures to store equipment, construction supplies, building equipment, landscaping equipment, and contractor trailers for an individual or for a contractor engaged in building or other construction businesses including but not limited to: heating, plumbing, electrical, structural, finish, demolition, transportation, concrete, masonry, excavating, landscaping, paving, road construction, or similar services of a construction nature which requires on-site storage space for construction equipment or vehicles normally associated with the contractor service. Normal maintenance and repair of associated contractor equipment, vehicles and machinery is allowed within an enclosed building. The storage of derelict vehicles and equipment is not permitted.

“**Golf course**” means a tract of land for playing golf, pitch and putt courses or driving ranges, including clubhouses, restaurants, pro shops and similar ancillary facilities necessary for golf purposes and which may include buildings necessary for the maintenance and administration of the golf course. This excludes indoor and outdoor recreation facilities such as, but not limited to, squash, racquetball, tennis, and swimming pools and any commercial use other than ancillary uses that are normally associated with a golf course facility.

“**Grade level**” see "Natural grade level"

“**Gross floor area**” means the total area of all floors in a building measured between exterior walls and required firewalls. The following are excluded: the areas of canopies, sundecks, outside stairs, separate and attached carports, covered entranceway to a maximum of 10 square metres in area, attic spaces and floor space devoted to a storey having a height of 1.5 metres or less.

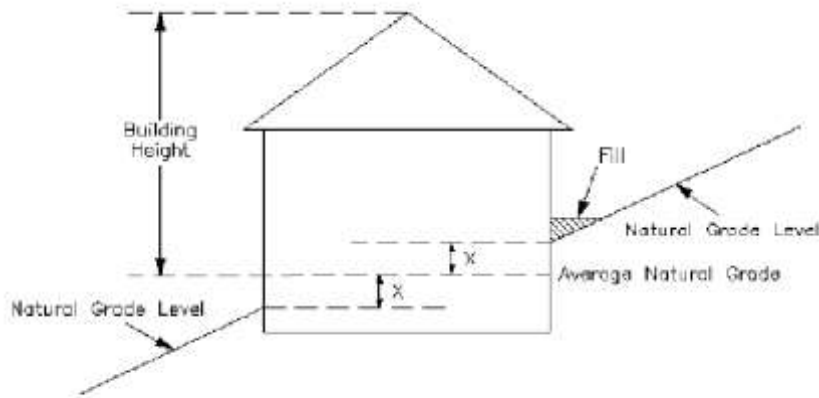
“**Habitat**” means the attributes of an area that, in combination, influence or create the conditions under which animal and plant organisms live and develop.

“**Health club/spa**” means an establishment containing exercise equipment and facilities for general health, fitness, relaxation and personal treatments, and may contain pool facilities.

“**Heavy industrial use**” means wholesaling, processing, fabricating, testing, assembling, service, repairs, manufacturing, distribution or maintenance of goods or materials including bulk storage, scrap salvage, motor vehicle salvage, wood processing, meat and seafood processing, automobile service stations, and retail sales accessory to a principal use.

“**Height**” in respect of a building or structure means the vertical distance from the natural grade level of the building footprint to the highest part of the roof surface. See Figure 1.

Figure 1: Height of Building



“**Highway**” means a public street, road, lane, bridge, viaduct, and any other way open to public use, but does not include a private right-of-way on private property.

“**Home occupation**” means any trade, occupation, profession or craft carried on for remuneration or financial gain and which is accessory to the principal residential use of a lot.

“**Hostel**” means a facility used as a temporary place of lodging for the travelling public which may include common areas for washing, cooking, dining and socializing and which may also contain an accessory dwelling unit intended for permanent residential use by one household.

“**Industrial equipment maintenance and repair**” means enclosed premises used for the maintenance and repair of operable industrial vehicles and equipment and the storage of parts.

“**Industrial equipment sales & services**” means the use of land, buildings or structures for the display, sale, or rental of assembled, operable industrial vehicles and equipment. Storage of parts, repair of vehicles and equipment, vehicle and equipment salvage, or wrecking operations not within an enclosed building are excluded.

“**Institutional use**” means the use of land, buildings or structures for providing governmental functions; includes but is not limited to government offices and storage yards, schools, hospitals, community centres, parks, playgrounds, fire halls, cemeteries, arts, cultural and heritage uses including artists’ studios, galleries, arts and cultural program space and associated shops and cafes.

“**Intensive agricultural use**” means the use of land, buildings and structures for the confinement, growing, producing, harvesting, slaughtering, processing of poultry, livestock or fur bearing animals, including the operation of feedlots, or for the growing of mushrooms.

“**Interpretive / cultural centre**” means a premises that may include display areas, kiosks, and viewing areas intended to provide information on geographic, environmental, cultural or habitat features; gift shop, and accessory sales of prepared food.

“**Kitchen facilities**” means facilities intended or used for the preparation or cooking of meals, and includes any room or portion of a room containing counters, cabinets, sinks and appliances, including stove, oven and, hotplates, used for such purposes, or supplied with electrical wiring for the installation of such appliances.

“**Land**” means any interest in land, including any right, title or estate in it of any tenure, with all buildings, unless there are words to exclude building and houses, or to otherwise restrict the meaning.

“**Leave strips**” means the areas of land and vegetation adjacent to watercourses containing fish or wildlife habitats that are designated to remain in an undisturbed state throughout and after the development process.

“**Light industrial use**” means fabricating, manufacturing, testing, service, repairs, or maintenance of goods or materials and includes wholesale and retail sales accessory to the light industrial use but excludes motor vehicle salvage, scrap salvage, wrecking yards, bulk storage and wood, meat, and seafood processing.

“**Liquor licensed establishment**” means an establishment where the consumption of alcoholic beverages is permitted under license issued by the Province of BC.

“**Limited neighbourhood commercial**” means a commercial development that provides service to a residential neighbourhood, such as a farmers market, veterinary establishment and service establishment but excludes automobile service stations and automotive repair.

“**Livestock**” means any animal raised or used in an agricultural operation.

“**Log handling**” means log dumping, storage, sorting, booming, barging and hauling.

“**Lot**” means any lot, block or other area in which land is held or into which it is subdivided.

“**Lot area**” means the area of land within the boundaries of a lot.

“**Lot coverage**” means the total horizontal area of all buildings and structures on a lot measured to the outside of the exterior walls including the horizontal areas of attached decks and porches, expressed as a percentage of the lot area, and for a structure with no exterior wall, measured to the drip line of the roof.

“**Lot line**” means a line which marks the boundary of a lot and in particular:

1. Front lot line means the lot line which is common to the lot and a highway or in a case of lots with water access only, the lot line at the natural boundary. Where two or more lot lines are common to a lot and a highway, they shall be deemed to be the front lot line.
2. Rear lot line means the lot line opposite to and most distant from the front lot line and where the rear portion of a lot is bounded by intersecting side lot lines, the point of intersections shall be deemed to be the rear lot line.
3. Side lot line means a lot line other than a front or rear lot line.

“**Low impact recreation**” means activities of sport or leisure such as hiking, hunting, fishing, snowshoeing, skiing, canoeing, kayaking, and windsurfing which do not involve the use of motorized vehicles or equipment or require the construction of buildings or structures.

“**Manufacturing**” means mechanical or chemical transformation of materials or substances into new products, and the processing of such products.

“**Marina**” means a facility for berthing, fueling, launching, mooring, securing, servicing and storing boats, float planes and other marine vessels, including accessory uses such as administrative offices, public facilities for showering and laundry, restaurants, retail and rental shops, and tourist kiosks but does not include permanent or indefinite moorage or berthing of vessels occupied as a residence.

“**Medical health officer**” means the Medical Health Officer appointed under the *Health Act* who has jurisdiction over the area in which land is located.

“**Mini-storage**” means a building or structure containing separate individual storage units, designed to be rented or leased to the general public for storage of personal goods, materials and equipment.

“**Mixed use**” means permitting more than one type of land use in a building or set of buildings, including but not limited to residential, commercial and institutional. Residential not to be located on the first floor.

“**Mobile home**” means a factory built manufactured home that conforms to the Canadian Standards Association's Z240 MH standard, but excludes recreational vehicles.

“**Mobile home area**” means that part of a mobile home park used primarily for installed mobile homes, including additions, permitted by this bylaw, and which is not used for buffer area, leave strips, owner's residential plot, the procuring and treatment of water, sewage treatment, effluent disposal from a collective sewage treatment plant, garbage disposal, or ancillary buildings.

“**Mobile home park**” means a lot used for the siting of two or more mobile homes.

“**Mobile home space**” means an area of land in a mobile home park used for the installation of one mobile home with additions permitted by this bylaw and situated within a mobile home area

“**Mobile food vendor**” means a vendor who sells food or beverages from a mobile vending unit which is capable of being moved on its own wheels and is fully self-contained with no service connection required in compliance with Section 308 of this bylaw.

“**Modular home**” means a factory built manufactured home certified under the CSA A277 standard.

“**Moorage**” means a place where vessels and float planes can be tied up or otherwise secured.

“**Motor vehicle**” excludes vehicles designed to be used exclusively on stationary rails or tracks, vehicles moved by human power, mobility scooters, and motor-assisted bicycles.

“**Multi-residential dwelling**” means a building divided into three or more dwelling units such as an apartment, townhouse or row house where each unit is occupied or intended to be occupied as the permanent home or residence of one household.

“**Natural boundary**” means the visible high watermark of any lake, river, stream, or other body of water where the presence and action of the water are so common and usual and so long continued in all ordinary years as to mark upon the soil of the bed of the lake, river, stream, or other body of water a character distinct from that of the banks, in vegetation, as well as in the nature of the soil itself, and also includes the edge of dormant side channels of any lake, river, stream, or other body of water.

“**Natural grade level**” means the level of the natural ground elevation adjoining each exterior wall of a building or structure.

“**Natural ground elevation**” means the undisturbed ground elevation prior to the placement of fill and excavation activities.

“**Nucleus colony**” means a small honeybee colony created from a larger colony and can consist of up to five frames used for rearing and storing of queen bees.

“**Office**” means the occupancy or use of a building for the purpose of carrying out business, financial or professional activities including financial institutions, travel or real estate agencies, insurance or legal offices, government offices, medical or dental offices, physical therapy, and chiropractor or acupuncture clinics.

“**Open space**” means the gross area of the subject lot less the gross area of all buildings, exterior areas dedicated to parking, and other hard-surfaced facilities. Open space includes roadways, trails and paths, tennis courts, and public areas such as patios associated with a restaurant.

“**Outdoor recreation**” means activities of sport and leisure that primarily take place outdoors, such as riding academies, golf courses, waterslides and auto racing and which may include related buildings or structures.

“**Outdoor storage**” means the keeping of any goods or materials, equipment, or vehicles associated with the principal use in the open air.

“**Park**” means any area of land or water which is officially designated, or recognized, as an ecological reserve, conservation area, or as an area intended to be used by the public for recreational purposes, all of which are administered by a government agency.

“**Park model trailer**” means a recreational vehicle that conforms to the Canadian Standards Association’s Z241 Series 92 standards.

“**Parking space**” means an open area of land used for the parking of one vehicle but does not include streets or driveways or areas providing access to a parking space.

“**Performing arts facility**” means an establishment where musical, dance and theatrical performances are conducted for public audiences.

“**Plant nursery and greenhouse**” means the use of land or buildings for growing, cultivating, harvesting, storing and sale of flowers, trees, bushes, bedding plants, and the sale of related gardening products and materials but excludes cannabis production.

“**Portable sawmill**” means small wood sawing equipment mounted on tires and designed to be pulled or towed from site to site.

“**Poultry**” means any domestic fowl, exotic fowl, turkey, goose or duck.

“**Principal building**” means the buildings and structures on a lot which are used for the principal permitted uses of that lot.

“**Principal use**” means the main purpose for which a lot, principal building or structure is used.

“**Private moorage**” means temporary non-commercial moorage associated with the private use of an adjacent upland lot.

“**Public moorage**” means temporary moorage available for use by the general public.

“**Public road right-of-way**” see “Highway”

“**Railway**” means any railway under the jurisdiction of the *Railway Act*, which includes all branches, sidings, bridges and works connected with the railway.

“**Real estate sales centre**” means a temporary building or structure used for the marketing of real estate on the site on which the real estate is being developed.

“**Rear lot line**” see “Lot line, rear lot line”

“**Rear yard**” means the area from of a lot between the rear lot line to and a line drawn parallel to the rear lot line equal to the minimum required building setback from the rear lot line as illustrated in Figure 3. (See “Setback”.)

“**Recreation facility**” means a facility used and equipped for the conduct of sports, leisure and entertainment activities, instructional courses, equipment rentals, showers and storage but excludes outdoor riding academies, golf courses and outdoor water slides.

“**Recreation vehicle**” means any structure, trailer, or motorized vehicle, licensed by the appropriate licensing authority, used or designed to be used for temporary living or sleeping purposes and which is designed or intended to be mobile on land, whether or not self-propelled, and includes travel trailers, motor homes, side-in campers, chassis-mounted campers and tent trailers but excludes mobile homes and park model trailers.

“**Recreational vehicle (RV) park**” means an area of land in which spaces are provided, occupied and managed for the temporary accommodation of the travelling public for a maximum length of stay of 120 days in a 12 month period in recreation vehicles, which have been brought to the site and are removed from the site, by the traveller.

“**Regional District**” means the Comox Valley Regional District and shall also include the regional board as the governing and executive body.

“**Residential use**” means the occupancy and use of a dwelling unit as a permanent residence.

“**Resort**” means commercial tourist accommodation where the primary attraction is generally recreational feature(s) or activities and accommodation is in a lodge, separate accommodation units or a combination of both.

“**Resort recreation**” means activities of sport or leisure such as hiking, cycling, snowshoeing, climbing and skiing, and may include events or activities for social, cultural and educational purposes.

“**Resort recreation facilities**” means the use of land, buildings, or structures for the conduct of, and training or instruction in, sports, leisure, social, cultural and educational activities; and may include accessory uses such as, but not limited to, service establishment, equipment sales, rental and repair and accommodation for resort recreation visitors, athletes and staff.

“**Restaurant**” means an eating establishment providing for the sale of prepared foods and beverages to be primarily consumed on the premises, but may include establishments providing take-out food only. Restaurant does not include premises where food is sold but to which minors are not allowed entry.

“**Retail sales**” means the sale of goods other than vehicular fuels and cannabis to the general public and the accessory maintenance and repair of goods sold.

“**Retaining wall**” means a vertical structure used to retain soil for the purpose of altering the natural grade by either excavating from or adding fill to the natural grade.

“**Riding academy**” means an establishment where horses are boarded and cared for and where instruction in riding, jumping and showing may be offered and the general public may, for a fee, hire horses for riding and includes horse-related events or shows where no paid admission to view the event is required.

“**Right-of-way**” means a legal right of passage over another’s land for a variety of reasons. Rights-of-way may be registered as a charge against a title so as to run with the land.

“**Riparian area**” means the area adjacent to a stream that may be subject to temporary, frequent or seasonal inundation, and supports plant species that are typical of an area of inundated or saturated soil conditions, and that are distinct from plant species on freely drained adjacent upland sites because of the presence of water.

“**Road allowance**” see “Highway”

“**Roadway**” means a private road, street or lane intended primarily for vehicular use.

“**Rural resource centre**” means the use of buildings and land for conducting scientific research directly related to natural resource uses such as agriculture, aquaculture or forestry, which may include instruction directly related to this research.

“**Sawmill**” means a facility permanently affixed to the land used for the sawing of logs into dimensional lumber including a planer, a kiln used for the drying of lumber sawn on the lot and other equipment accessory to the production of finished lumber products.

“**Scrap salvage yard**” means a premises where used articles, waste or discarded material including but not limited to rubber tires, metal, plastics items, glass, papers, sacks, wire, ropes, rags, machinery, cans, and any other scrap or salvage including derelict vehicles, are stored or kept, for private or commercial purposes, or as part of a trade or calling.

“**Screening**” means a continuous solid fence, wall, berm, compact evergreen hedge, or other densely planted vegetation of sufficient height to visually shield or obscure one abutting structure, building or lot from another, broken only by access drives and walks.

“**Seafood processing**” means the gutting of finfish, the shucking of mollusks or crustaceans, the freezing, salting, smoking or packaging of aquatic organisms, or the mechanical or chemical transformation of any aquatic organism after it is harvested.

“**Seasonal**” means a use or activity that fluctuates according to one or more seasons (spring, summer, fall and winter) (but not all seasons) or available or taking place during one or more seasons (but not all season) or at a specific time of the year.

“**Seasonal agri-accommodation**” means the of agri-accommodation sleeping unit for less than 12 months of the year.

“**Secondary suite**” means an accessory dwelling unit located within a building which is a single real estate entity used for residential use and which contains only one other dwelling unit (see Section 316).

“**Service area**” means any part of the regional district within which the Regional District provides a service, established by bylaw or operated pursuant to the Letters Patent of the Regional District.

“**Service establishment**” means an establishment where professional or personal services are provided and goods, wares, merchandise, articles or things accessory to the provision of such services are sold. Without restricting the generality of this definition, service establishments may include barbershops, beauty salons, catering, dry cleaning, engineering, fitness centres, health care, tattoo parlours, launderette, legal offices, photographic studios, animal grooming services and shoe repair, but excludes automobile repair.

“**Setback**” means the required minimum horizontal distance measured from the respective lot line or other feature as may be identified to any building or structure or part thereof.

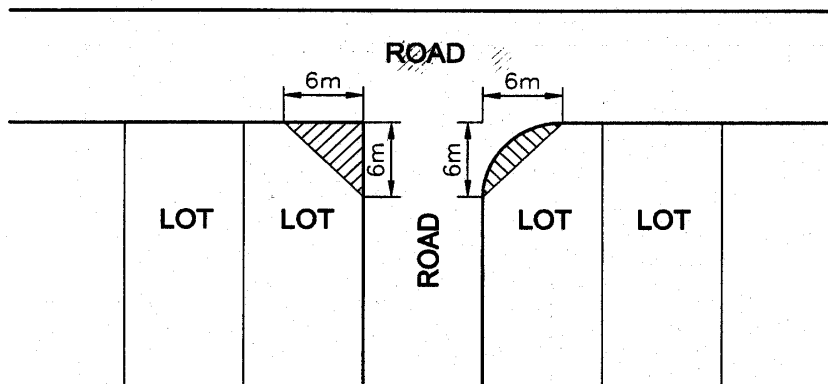
“**Shoreline protection device**” means breakwaters, seawalls, bulkheads, riprap, deposition of materials such as stone and concrete rubble, bluff stabilization projects, and similar measures employed to protect property from erosion or wave action.

“**Side lot line**” see “Lot line, side lot line”

“**Side yard**” means the area from of a lot between the side lot line to and a line drawn parallel to the side lot line equal to the minimum required building setback from the side lot line as illustrated in Figure 3. (See “Setback”.)

“**Sight triangle**” means the area formed by a triangle in the angle formed by the right-of-way boundaries or boundaries produced and two points on those boundaries 6.0 metres from the point of intersection. See Figure 2.

Figure 2: Sight Triangle



“**Sign**” means any object, device, display, structure, surface area, or part thereof, which is used to advertise, identify, display, direct or attract attention to an object, service, event or location by any means including words, letters, figures, design, symbols, fixtures, colours, illumination or projected images.

“**Site area**” means the horizontal area within the boundaries of a lot, or the total horizontal area within the outer lot lines of a number of lots comprising a single development site. In the case of aquaculture site areas, any combination of lots under common tenure that are located within 1 kilometre radial distance of each other shall be considered a site area. In the case of a strata lot, site area shall mean the area of the parent lot prior to the creation of strata lots.

“**Silviculture**” means all activities related to the development and care of forests, including forestry field training and the removal of harvestable timber stocks, but does not include the processing of wood or wood products.

“**Single detached dwelling**” means a free-standing residential building or mobile home comprising a single dwelling unit.

“**Soil**” means topsoil, sand gravel, rock, silt, clay, peat, or any other substance of which land is composed, or any combination thereof that is clean, without contamination, natural, and non-compostable.

“**Special event**” means any outdoor event within any electoral area in the Regional District, and is likely to be attended by 400 or more individuals.

“**Stock pile**” means a man-made accumulation of soil held in reserve for future use, distribution or removal.

“**Storage and works yard**” means the use of land for storage, repairs, maintenance and vehicle parking.

“**Street**” see “Highway”

“**Structure**” means anything that is constructed or erected, supported by or sunk into land or water, and includes swimming pools, mobile home pads, and improvements accessory to the principal use of land, but excludes landscaping, paving improvements, signs under 1.0 metre in height, retaining walls under 1.5 metres in height, fencing under 2.5 metres in height unless otherwise provided in this bylaw.

“**Subdivision**” includes a subdivision under the Land Title Act or the Strata Property Act.

“**Top of bank**” means:

1. The point closest to the boundary of the active floodplain of a stream where a break in the slope of the land occurs such that the grade beyond the break is flatter than 3:1 at any point for a minimum distance of 15.0 metres measured perpendicularly from the break.
2. For a floodplain area not contained in a ravine, the edge of the active floodplain of a stream where the slope of the land beyond the edge is flatter than 3:1 at any point for a minimum distance of 15.0 metres measured perpendicularly from the edge.

“**Tourist accommodation**” means a permanent building providing temporary accommodation for the travelling public, such as, cabins, lodges, motels, hotels, inns, hostels, or resorts, which may include common public facilities, such as a dining room, restaurant, liquor licensed establishments, gift shop; service establishment, or spa; but shall not include recreational vehicles or mobile homes.

“**Trade, convention and conference facilities**” means a facilities for display of equipment merchandise and services, and assembly of persons for the purpose of meetings, conventions or conferences or attending a performing arts production and may include as an accessory use offices, food service facilities and liquor licensed establishments

“**Travelling public**” means any person or persons staying at a location other than their permanent home or address.

“**Upland finfish aquaculture**” means the rearing and harvesting of cultivated fish for commercial purposes on land, but excludes seafood processing except for the stunning and bleeding of fish grown onsite.

“**Upland invertebrate hatchery**” means a land-based use providing for the incubation, hatching or rearing of mollusks, crustaceans, echinoderms and marine flora.

“**Utility, service building**” means a building or structure providing for utility facilities for water, sewer, electrical, natural gas, communications, information and similar services.

“**Utility use**” means the use of land for the establishment of utility facilities and associated appurtenances for the provision of water, sewer, electrical, natural gas, communication, fire protection and transportation; where such use is established by a local, provincial or federal government, an improvement district, a Crown corporation or by a company or person regulated by a government agency or commission; or the use of land for such facilities where they are regulated by a government act or regulation. “Utility use” means the use of land for the establishment of utility facilities and associated appurtenances for the provision of water, sewer, electrical, natural gas, communication, fire protection and or transportation services

“**Veterinary establishment**” means premises used for the care, grooming, treatment, or hospitalization of animals of any species sales of accessory supplies, but does not include the keeping or boarding of animals not receiving care, treatment or hospitalization

“**Vacation rental**” means the commercial use of a residential dwelling unit, or part thereof, for tourist accommodation for a length of stay less than 30 consecutive days

“**Warehousing**” means the use of a building for bulk storage of material, products, goods or merchandise which will be sold elsewhere or, subsequently, transported to another location for sale or consumption, but excludes mini-storage.

“**Watercourse**” means any natural or man-made depression with well-defined banks and a bed 0.6 metres or more below the surrounding land serving to give direction to a current of water at least six months of the year or more upstream of the point of consideration.

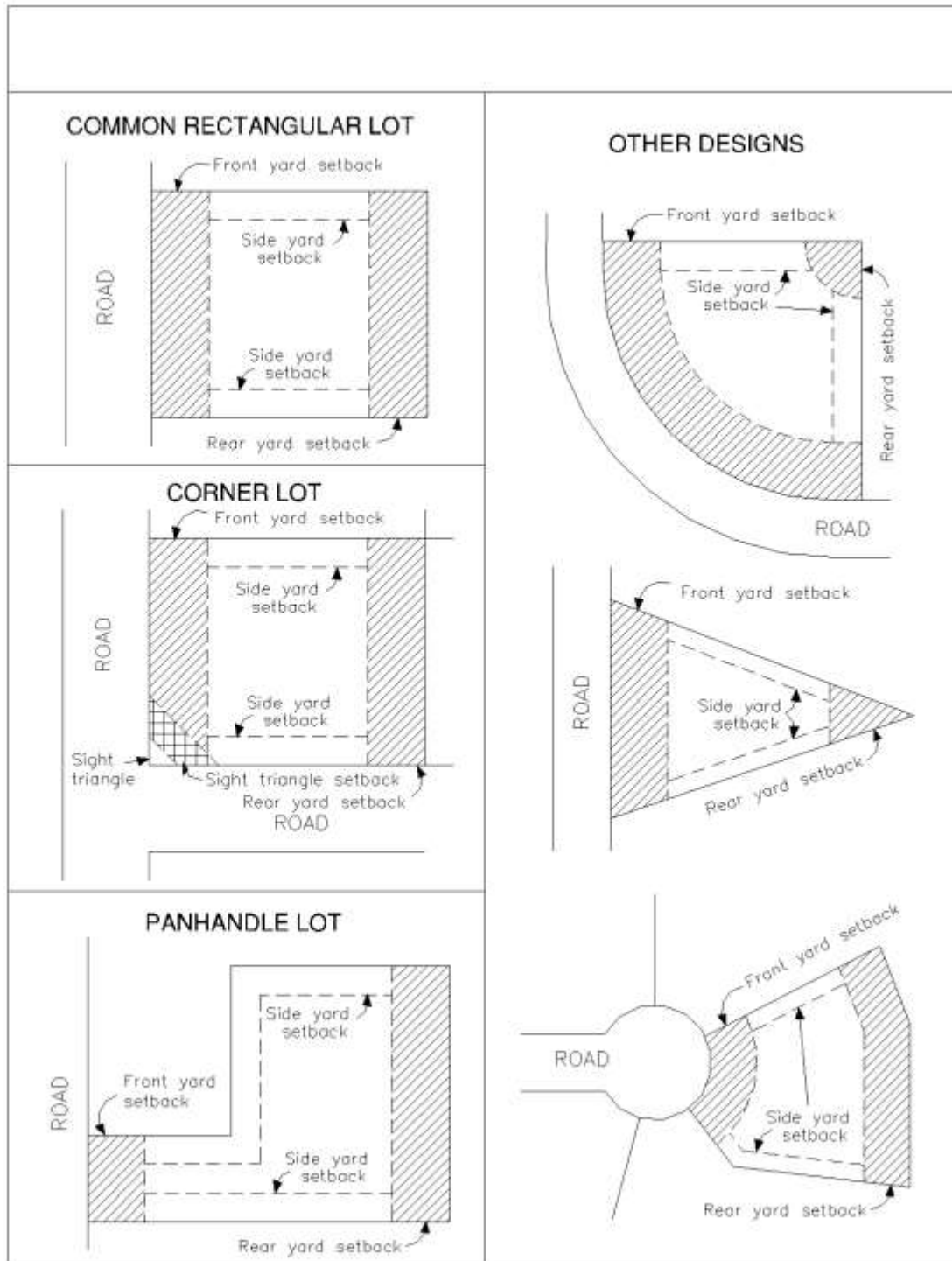
“**Wetland**” means land seasonally or permanently covered by water and dominated by water-tolerant vegetation including swamps, marshes, bogs and fens and excluding lands periodically flooded for agricultural purposes.

“**Wharf**” means a structure attached to a shore to which vessels and float planes can be tied or secured.

“**Wholesale**” means establishments or places of business primarily engaged in selling merchandise other than cannabis to retailers, to industrial, commercial, institutional, or professional business users, or to other wholesalers, or acting as agents or brokers and buying merchandise for, or selling merchandise to, such individuals or companies and includes the maintenance and repair of such goods that are sold. This does not include cannabis wholesale.

Wood processing means the production of value added wood items such as mouldings, shakes, fencing, furniture, doors, windows and other wood products.

Figure 3: Setbacks



Part 300**General Regulations****301 Uses Permitted In All Zones**

1. In addition to the uses specifically listed in particular zones as a principal use or an accessory use, the following uses are permitted in all zones:
 - i) Utility use
 - ii) Recycling bins and compost bins
 - iii) Parks, recreational trails and associated structures and equipment
 - iv) Ecological reserves
 - v) Community based fish hatcheries
 - vi) Community gardens
 - vii) Composting of waste generated on-site
 - viii) Low impact recreational use

302 Uses Prohibited In All Zones

1. Any use not expressly permitted in this bylaw is prohibited in every zone and where particular use is expressly permitted in one zone, such a use is prohibited in every zone where it is not also expressly permitted.
2. The following uses are prohibited in all zones unless otherwise permitted in this bylaw:
 - i) The use of a houseboat, float home, float camp, or other vessel on land as a dwelling unit or vacation rental.
 - ii) The use of a tent, travel trailer, recreational vehicles, bus, or other vehicle or shipping container as a dwelling unit.
 - iii) The use of a residential dwelling unit for a vacation rental.
 - iv) The use of an accessory building or structure for a dwelling unit.
 - v) Automobile wrecking yard, storage of waste, or salvage material.
 - vi) The wrecking or storage of more than one derelict vehicle on any lot or the use of land for scrap salvage.
 - vii) The storage of a single detached dwelling, mobile home or accessory building which is being moved from one lot to another.
 - viii) The parking of more than one commercial or industrial vehicle on a lot not zoned for commercial or industrial use.
 - ix) Gaming and gambling establishments, other than charity gaming.
 - x) Water and beverage bottling facility.

- xi) Cannabis production, or any component thereof.
- xii) Wholesale or retail sale of cannabis.
- xiii) Cannabis dispensaries, compassion clubs, and all other premises in which any cannabis product is kept or offered for sale or consumption on the premises.
- xiv) The production of synthetic pesticides

303 **Agricultural Use**

1. **Agricultural Use**

- i) For the purposes of this section 303, terms that are not otherwise defined in this bylaw have the same meaning as in the *Local Government Act*, the *Farm Practices Protection (Right to Farm) Act* and the ALR Regulation.
- ii) On lands located outside the Agricultural Land Reserve on which “agricultural use” is expressly permitted by this bylaw all processing, and retailing sales, associated with an agricultural use shall be carried out in accordance with, and restricted to the limitations of, the Home Occupation, and Domestic Industrial Use provisions of this bylaw.

2. **Farm Use Regulations**

Pursuant to Section 2(2) of the ALR Regulation, on lands located within an Agricultural Land Reserve, the following activities designated as farm use under the Regulation are subject to the following regulations:

- i) **Farm Retail Sales**
 The retail sales area shall consist of the following:
 - a) At least 80 per cent of the retail sales area is to be devoted to the sales of processed farm products and/or a farm product produced on the farm or from another farm located within the Comox Valley Regional District.
 - b) No more than 20 per cent of the total retail sales area may be devoted to the sales of off-farm products.
- ii) **Indoor Riding Arenas**
 Indoor riding arenas shall be sited a minimum of 30.0 metres from all lot lines.
- iii) **Intensive Agriculture**
 - a) All buildings and structures that house livestock associated with intensive agriculture shall be sited a minimum of 30.0 metres from all lot lines.
 - b) All building and structures that house any livestock associated with intensive agriculture shall be sited a minimum of 30.0 metres from any domestic well, spring, and the natural boundary of any water course.
 - c) All composting activities associated with mushroom production shall be sited a minimum of 30.0 metres from all lot lines.

iv) **Agri-Tourism Activities**

Agri-tourism activities, other than accommodation, are permitted on land that is classified as ‘farm’ under the *Assessment Act*.

v) **Cannabis Production (Medical)**

The establishment of medical and non-medical cannabis production on ALR lands in relation to farming for consistency within the *Agricultural Land Commission Act*, its regulations and orders of the Commission must not be permitted unless by a rezoning of the land.

3. Uses Permitted On Conditions

Pursuant to Section 3 of the ALR Regulations, on lands located within an Agricultural Land Reserve, the following uses are permitted as long as the regulations set out herein for each of the named uses are met:

i) **Agri-Tourism Accommodation*****General Conditions:***

- a) Agri-tourism accommodation use must be accessory to a principal agricultural use of the property.
- b) Agri-tourism accommodation use must be for rental only.
- c) Up to five (5) agri-tourism accommodation sleeping units, including seasonal campsites or cabins are permitted on lots less than or equal to 8.0 hectares in area.
- d) A maximum of ten (10) agri-tourism accommodation sleeping units including seasonal campsites or cabins are permitted on lots greater than 8.0 hectares in area.
- e) In order to not interfere with productive agricultural areas located on a farm, agri-tourism accommodation uses shall be sited in areas of poorer quality soils as outlined within the Land Capability Classification for Agriculture system.

ii) **Agri-Tourism Accommodation Campground**

An agri-tourism accommodation campground is subject to the following regulations:

- a) Every recreational vehicle (RV) site or camper site shall be unpaved and not exceed 150.0 square metres in area.
- b) Every tent campsite shall be unpaved and not exceed 75.0 square metres.
- c) One freestanding sign is permitted for each street frontage of an agri-tourism accommodation campground. Freestanding signs shall be placed in landscaped areas only, on the same lot as the agri-tourism accommodation campground. The height of the sign, including any support structures shall not exceed 1.8 square and the area of any one face shall not exceed 0.4 square metres.

- d) A maximum stay of three (3) months per visitor, consecutive or non-consecutive, is permitted in any twelve (12) month period within any campsite regardless of which campsite is being occupied.

iii) **Agri-Tourism Accommodation Cabins**

An agri-tourism accommodation cabin is subject to the following regulations:

- a) The floor area of a cabin may not exceed 45.0 square metres.
- b) One freestanding sign is permitted for each street frontage on the lot where the cabins are located. Freestanding signs shall be placed in landscaped areas only, on the same lot as the agri-accommodation tourism cabins. The height of the sign, including any support structures shall not exceed 1.8 square and the area of any one face shall not exceed 0.4 square metres.
- c) A maximum stay of three (3) months per visitor, consecutive or non-consecutive, is permitted in any twelve (12) month period within any cabin regardless of which cabin is being occupied..
- d) One (1) off-street automobile parking space per agri-tourism accommodation cabin is required.

iv) **Sawmills**

Temporary Sawmills

- 1) The sawmill, including all associated storage and work areas, shall be sited a minimum of 30.0 metres from all lot lines.
- 2) At least 80 per cent of the volume of the timber processed in the sawmill is to be harvested from the farm or lot on which the sawmill is located.
- 3) The operation of a temporary sawmill on any one lot shall be limited to 180 days in any calendar year.

v) **Animal Kennels**

An animal kennel is subject to the following specific requirements as well as all other applicable provisions of this bylaw:

- a) Animal kennels must be located on lots which are 2.0 hectares or larger in area.
- b) A minimum setback of 15.0 metres from all lot lines is required for all animal kennels.
- c) All structures and areas utilized in association with the animal kennel, shall be sited at least 30.0 metres from any lot line abutting a lot zoned under Part 700 Residential Zones.
- d) All structures and area utilized in association with the animal kennel, shall be sited at least 30.0 metres from the boundary of any lake, sea or watercourse.
- e) Screening shall be provided of not less than 1.5 metres in height for all structures and areas utilized in association with a kennel on a lot abutting a lot zoned under Part 700 Residential Zones.

- f) A single sign not exceeding 1.0 square metres in area on each may be placed on the lot on which the animal kennel use is operated.
- vi) **Golf Courses**
 Golf courses are prohibited on lands within the Agricultural Land Reserve.

304 Domestic Agriculture

1. The keeping of chickens (hen) as a domestic agriculture use is subject to the following requirements:
 - i) A maximum of 6 chickens are permitted per lot.
 - ii) No roosters are permitted.
 - iii) A chicken enclosure is not an accessory building for the purposes of this Bylaw.
 - iv) A chicken enclosure shall be set back from the lot lines as follows:
 - a) A minimum distance of 1.5 metres from side lot line.
 - b) A minimum distance of 1.2 metres from a rear lot line.
 - c) A minimum distance of 4.5 metres from lot lines fronting a highway.
 - v) A chicken enclosure shall not be sited within 3.0 metres of any dwelling unit.
 - vi) A chicken enclosure is not permitted within any front yard.
 - vii) A chicken enclosure shall have a maximum height of 2.0 metres.
 - viii) A chicken enclosure shall have a minimum floor area of 0.4 square metre per chicken to a total maximum floor area of 9.0 square metres, and at least 1 square metre of outdoor chicken run per chicken.
 - ix) Meat, manure or other products derived from the chicken must not be sold from the property.
 - x) The destruction or disposal of chickens on the lot is prohibited.
2. Beekeeping as a domestic agriculture use is subject to the following requirements:
 - i) A maximum of 6 colonies and 6 nucleus colonies are permitted per lot.
 - ii) Beehives must be located in accordance with all of the following requirements:
 - a) Entrance to the beehive must face away from adjacent lots.
 - b) Beehives must be located a minimum of 7.5 metres from any lot line, unless the beehive is situated either:
 - 1) 2.5 metres or more above the adjacent natural grade level, or
 - 2) Behind a solid fence or hedge more than 2.0 metres in height running parallel to any the lot line and extending at least 6.0 metres beyond the hive in both directions.
 - c) No beehive shall be located within 4.5 metres of lot line fronting a highway.
3. A produce stand is permitted as part of a domestic agriculture use, subject to the following requirements:

- i) Produce stand use shall be limited to the sale of products grown on the lot.
- ii) The maximum floor area of a produce stand is 9.0 square metres.
- iii) The produce stand shall have a maximum height of 2.5 metres.

305 Home Occupations

Where home occupations are permitted the following requirements shall apply:

1. The parking of vehicles in connection with a home occupation use shall take place only on the lot used for the home occupation.
2. Where the home occupation business involves the use of a commercial vehicle:
 - i) On a lot less than 1 hectare in area, any commercial vehicle with a maximum gross vehicle weight of 5600 kg or greater, associated with the home-occupation business, shall be kept inside of a building or structure.
 - ii) On a lot which is 1 hectare or greater no more than one commercial vehicle with a maximum gross vehicle weight of 5600 kg or greater, associated with the home-based business, may be located outside of a building or structure.
3. No scrap salvage may be operated as a home occupation.
4. Cannabis production, or any component thereof, is prohibited as a home occupation.
5. All uses shall be conducted entirely within a completely enclosed building permitted by this bylaw with no external storage of materials, equipment, containers, or finished products, except for daycare use.
6. Land must not be used for a home occupation which involves the salvaging or repair of motor vehicles of persons other than an owner or occupier of the lot.
7. No more than 20 percent of the total floor area permitted for home occupation use may be used for retail sale of articles not manufactured, repaired or refinished on site.
8. More than one home occupation may operate from any lot subject to compliance with conditions (2), (8) and (9) of this section.
9. The maximum floor area per lot that may be used for home occupation use including storage, processing and retail sales, shall be as follows unless specified otherwise in a particular zone designation:
 - i) 75.0 square metres for lots zoned under Part 700 Residential Zones.
 - ii) 125.0 square metres for lots zoned under Part 800 Rural/Resource Zones.
 - iii) 100.0 square metres for lots located in the Agricultural Land Reserve unless otherwise approved by the Provincial Agricultural Land Commission.
10. The area used may be located in either a dwelling unit, an accessory building or combination thereof.
11. A maximum of three persons, of whom at least one resides on the lot on which the home occupation is carried out, may be employed in a home occupation.

12. Home occupations shall be limited to a maximum of eight patrons or students at any one time.
13. Any person intending to operate a home occupation shall obtain written approval from the Regional District and the Health Authority, prior to commencing the home occupation on any lot.
14. No more than 1 daycare is permitted on a lot.
15. Daycares of no more than 8 children may be operated as a home occupation where licensed pursuant to the *Community Care and Assisted Living Act*.
16. Daycares providing care for no more than 2 unrelated children or 6 unrelated adults may be operated as a home occupation.

306 Bed and Breakfast

Where a bed and breakfast is permitted the following requirements shall apply:

1. The maximum number of bedrooms which may be used for bed and breakfast accommodation per lot shall be as follows unless otherwise specified in a particular zone designation:
 - i) No more than three bedrooms for lots zoned under Part 700 Residential Zones.
 - ii) No more than four bedrooms for lots zoned under Part 800 Rural/Resource Zones.
 - iii) No more than three bedrooms for lots zoned under Part 1100 Comprehensive Development Zones.
 - iv) No more than five bedrooms for any lot within the Agricultural Land Reserve.
2. All bedrooms used for bed and breakfast must be located in the principal dwelling unit.
3. At least one automobile parking space shall be provided on the same lot for each room available for accommodation, in addition to the parking requirements for the residence.
4. Meals may be provided to customers of a bed and breakfast operation only. No kitchen facilities beyond the one set permitted per dwelling unit shall be permitted unless specifically required by a provincial health agency.
5. Persons employed as part of a bed and breakfast are limited to those residing in the dwelling unit in which the bed and breakfast is located.
6. There shall be no external indication that a bed and breakfast is in operation excluding permitted signage and required parking.
7. Any person intending to operate a bed and breakfast shall obtain prior written approval from the Regional District and the Health Authority requirements regarding water and sewer servicing.

307 Domestic Industrial Use

Where domestic industrial use is permitted the following requirements shall apply:

1. The minimum lot area for domestic industrial use is 2.0 hectares unless otherwise permitted in this bylaw.
2. No more than one domestic industrial is permitted on a lot.
3. Uses shall not generate more than three client visits at any one time.
4. The maximum permitted floor area for domestic industrial use shall be 200.0 square metres except for lots located in the Agricultural Land Reserve where the maximum area shall be 100.0 square metres (unless otherwise approved by the Agricultural Land Commission).
5. The 200.0 square metres of domestic industrial use maybe located in either a dwelling unit, an accessory building or combination thereof.
6. One designated outdoor area, no greater than 75.0 square metres, is permitted in association with the domestic industrial use.
7. The designated outdoor area must be screened from adjacent lots and public roads by either vegetation, fencing, berms, or any combination thereof, which creates a solid screen.
8. Outdoor storage, maintenance, service and repair of vehicles and equipment operations undertaken as domestic industrial use shall be subject to the following requirements unless otherwise specified
 - i) The minimum setback from all lot lines of domestic industrial use that is contained within a building or structure shall be 15.0 metres.
 - ii) The minimum setback from all lot lines of domestic industrial use that is not contained within a building or structure shall be 20.0 metres.
 - iii) No designated outdoor area, parking, loading or storage areas shall be located in any required front, rear, or side yard setback area.
 - iv) No designated outdoor storage area shall be located within 30.0 metres of a watercourse.
 - v) Domestic industrial uses shall be screened from adjacent properties through the use of a solid screened fence, berming or coniferous vegetation being not less than 2.3 metres in height.
9. The parking of vehicles in connection with domestic industrial use shall take place only on the lot used for domestic industrial.
10. A lot on which a domestic industrial use is carried out shall not be used for outdoor storage except for the following:
 - a) Three pieces of equipment, including trucks and trailers, and on lots larger than 2.0 hectares in area, two additional pieces of equipment.
 - b) A maximum of two fuel tanks.
 - c) Outside storage of other material, or containers must be within the designated work area. See (4), (5), (6), (7) and (8(v)) above.
11. Cannabis production, or any component thereof, is prohibited as a domestic industrial use.

12. The bulk mixing, processing or storage of soil mixtures for commercial resale is prohibited as a domestic industrial use.
13. There shall be no external indication that any building is utilized for a purpose other than residential use.
14. All goods sold through a domestic industrial use must be produced or manufactured on site. Up to 20 per cent of the total floor area may be used for such sales.
15. A maximum of three persons, including at least one person who resides on the lot on which the domestic industrial use is carried out, may be employed in connection with a domestic industrial use.
16. A service establishment may be operated as a domestic industrial use.
17. Any person intending to operate a domestic industrial use shall obtain prior written approval from the Regional District and local Health Authority.

308 Mobile Food Vendors

Mobile food vending shall be a permitted use in all zones subject to the following conditions:

1. The vending of any goods by a mobile vendor shall not be carried out on any highway or foreshore area.
2. The vending of any goods by a mobile vendor shall not be carried out for more than two hours per 24 hour period in any zone which does not permit retail sales as a principal use.
3. The mobile vending unit shall be removed from the site by the mobile vendor at the end of the mobile vending period (2 hours).
4. No structure shall be placed or erected in association with the vending operation.
5. One freestanding sign no larger than 1.0 square metres may be displayed on each side of a mobile vending unit.
6. Vending of any goods within Regional District park boundaries requires the issuance of a Park Use Permit from the Regional District.

309 Buildings and Structures

1. No person shall erect an accessory building or structure on any lot unless the principal building to which the building is accessory has already been erected or has been authorized by a building permit and is being erected simultaneously with the accessory building.
2. The maximum height of all accessory buildings is 7.0 metres except in RU-8 and RU-20 zones where the maximum height is 8.0 metres
3. No accessory building or structure shall include kitchen facilities unless otherwise permitted in this bylaw.
4. The following shall not be subject to the height restrictions of this bylaw unless otherwise specified:

- i) Antennas, church spires, belfries, farm buildings including silos, utility service buildings, flagpoles, monuments, transmission towers, utility poles, towers for ski lifts and similar recreational infrastructure, rooftop mechanical equipment provided that the equipment is screened, cell towers warning devices, water tanks, chimneys, solar energy devices, turbines used for the production of wind energy, ventilation machinery and elevators.
- ii) No structure or building feature listed in 309.4.(i), except solar energy devices, shall cover more than 20 percent of the area of the lot or, if located on a building, no more than 10 percent of the roof area of a building.

310 Fences

Except as otherwise specifically permitted by this Bylaw:

1. Fence height shall be measured vertically from the natural grade level measured 1.0 metre from either side of the proposed fence location to the highest part of the fence.
2. Despite 310.1, the height measured for a fence constructed on top of a retaining wall or berm shall include the combined height of the fence and the retaining wall or berm, measured from the bottom of the retaining wall or berm.
3. Maximum fence height for fences in zones regulated by Part 700 residential zones is:
 - i) 2.0 metres if located in a front yard or side yard abutting a road; and
 - ii) 2.3 metres if located in the rear or side yard.
4. Maximum fence height in zones regulated by Part 800 rural and resource zones is 2.5 metres.
5. Minimum fence height in zones regulated by Part 900 commercial, industrial and institutional zones is 2.5 metres and the maximum height 3.0 metres.
6. Fences and hedges may not be constructed or grown within a required sight triangle.
7. Fence gates are exempted from the maximum fence height.

311 Watercourses

1. No building or structure or part of a building, except structures containing or related to utility use, shall be constructed, altered, moved, extended, or located:
 - i) Within 30.0 metres of the natural boundary of Cowie Creek, and the Browns, Courtenay, Cruickshank, Puntledge, Trent, Tsable, and Tsolum Rivers, or any other watercourse where the designated flood, as determined by a suitably qualified professional engineer, is greater than 80 cubic metres per second.
 - ii) Within 60.0 metres of the natural boundary of the Oyster River.
 - iii) Within 30.0 metres of the natural boundary of Comox Lake.
 - iv) Within 20.0 metres of the natural boundary of the sea or any wetland.

312 Renewable energy devices

1. Renewable energy device are permitted in all zones.
2. In all zones, solar energy devices shall be permitted:
 - a) When the device is located on either the principal or accessory building and does not extend beyond the outermost edge of the roof or exceed the height of the building by more than 0.6 metres.
 - b) As a freestanding structure, if it meets the siting requirements for the principal building or structure on the lot where the device is located.
3. In all zones, wind energy devices shall be permitted as long as:
 - a) Any wind energy device tower shall has a minimum horizontal separation of 150 percent of the total height of the devices (including support and blades) from any dwelling unit on an adjacent lot.
 - b) The height of a wind energy device, measured to the uppermost point of a blade in a vertical position does not exceed 20.0 metres measured from the natural grade level.
 - c) No such device sis located within 60.0 metres of a bald eagle nest tree or a great blue heron nest site, as determined by a Qualified Environmental Professional, measured from the base of the nesting tree to the base of the wind energy device.

313 Temporary Occupation of Additional Dwelling

1. In all zones which permit single detached dwellings, when a property owner wishes to construct a dwelling unit on a lot that already has the maximum permitted number of dwellings units, the owner may continue to occupy one of the existing dwelling units during the construction of a proposed replacement dwelling unit, provided that the owner:
 - i) Provides to the Regional District a \$5000 security deposit in the form of cash or an unconditional, irrevocable and automatically renewing letter of credit issued by a chartered bank or credit union.
 - ii) Grants to the Regional District a covenant, in priority to all financial charges, to demolish, remove or convert to a non- residential use a designated dwelling unit on the lot, within a time specified in the covenant. The covenant shall include a rent charge in the amount of \$5,000 against the land title of the subject property to ensure that the dwelling unit is demolished, removed or converted to a non-residential use.
2. The provisions of subsection 1. i) a) shall apply to lands within the Agricultural Land Reserve only to the extent that the policies and regulations of the Agricultural Land Commission will allow.
3. Any one of the Comox Valley Regional District officers may execute the registerable covenant provided all conditions listed in 313 are met.

314 Temporary Residential Occupancy of Recreational Vehicles

Occupancy of recreational vehicles for residential purposes shall be permitted subject to the following:

1. In all zones, as on-site accommodation during the course of construction for a dwelling unit pursuant to, where applicable, a building permit issued by the Regional District provided that:
 - i) An on-site sewage disposal system complying with the Sewerage System Regulation under the Public Health Act has been installed prior to occupancy of the recreational vehicle
 - ii) The recreational vehicle is sited to permit direct discharge of effluent into the septic tank of the sewage disposal system.
 - iii) The recreational vehicle is sited in accordance with the siting requirements of the zoning bylaw for principal buildings.
 - iv) The period of occupancy of the recreational vehicle must not exceed 365 days within a 12 month period.
 - v) The owner of the property has provided to the Regional District:
 - a) A site plan showing the dimensions, location and setbacks of the recreational vehicle on the lot.
 - b) A statutory declaration sworn before a notary or solicitor declaring that the recreational vehicle will not be used as a residence following the expiry of the 365 day period and that the recreational vehicle will be removed from the lot or, where permitted, placed into storage on the lot.
 - c) A \$1,000 security deposit in an irrevocable letter of credit or other form satisfactory to a Comox Valley Regional District officer. If an irrevocable letter of credit is chosen, it shall be automatically renewable unless cancelled, and shall be redeemable locally.
2. On any lot zoned Rural Eight (RU-8), Rural Twenty (RU-20), Rural-ALR (RU-ALR) or Upland Resource (UR) for a maximum duration of 60 days, consecutive or non-consecutive within any 12 month period. There shall be no more than one recreational vehicle occupied on a lot.
3. Within any other zone, for a maximum duration of 30 days, consecutive or non-consecutive in any 12 month period. There shall be no more than one recreational vehicle occupied on a lot.

315 Residential Use

1. Neither a secondary dwelling, carriage house nor secondary suite carry with them the privilege of separate ownership in fee simple or building strata and further, permission for the above forms of residential units is not to be construed in any way as a justification for future subdivision or change in land use designation. All subdivision requirements and land use designations are applicable.

316 Secondary Residential Use

1. Where permitted in this bylaw, secondary suites must meet the following criteria:
 - i) Secondary suite means an additional dwelling unit.
 - ii) A secondary suite shall be located only within a principal dwelling unit containing only one other dwelling unit and shall have a total floor area of not more than 90.0 square metres exclusive of the areas used for common storage, common laundry facilities or common areas used for access.
 - iii) A secondary suite shall have a floor area less than 40 per cent of the habitable floor area of the building excluding the area of any attached garage.
 - iv) The entrance to the secondary suite from the exterior shall be separate from the entrance to the principal dwelling unit.
 - v) One off-street automobile parking space shall be provided for the exclusive use of the secondary suite.
2. Where permitted in this bylaw, carriage houses must meet the following criteria:
 - i) The siting of carriage houses shall be in accordance with principal structure setbacks.
 - ii) The maximum height for a carriage house is 8.0 metres.
 - iii) A carriage house must be located within the second storey of a building accessory to an existing residential dwelling on the same lot.
 - iv) The second storey floor area occupied by the residential use may contain interior access to any part of the accessory use below. The interior entryway, landing or similar space must not exceed 2.8 square metres in area.
 - v) A carriage house shall not contain any floor area below grade level.
 - vi) The total floor area occupied by the residential use must not exceed 90.0 square metres.
 - vii) The carriage house cannot be subdivided from the building it is part of under the *Strata Property Act*.
 - viii) One off-street automobile parking space shall be provided for the exclusive use of the occupants of the carriage house.
 - ix) A minimum of one parking space shall be provided within the ground level of the carriage house.
3. Where permitted in this bylaw, a secondary dwelling unit must meet the following criteria:
 - i) The siting of secondary dwelling unit shall be in accordance with the principal setbacks.
 - ii) The maximum height of a secondary dwelling unit is 8.0 metres
 - iii) The total floor area occupied by the secondary dwelling is for residential use only and the total floor area shall not exceed 90.0 square metres.
 - iv) One off-street parking spaces shall be provided for the exclusive use of the secondary dwelling unit

317 Portable Sawmills

Portable sawmills are permitted only:

1. On a lot on which it is used solely to saw logs from trees grown and harvested on the lot on which the portable sawmill is located; or
2. As a Domestic Industrial Use where permitted in this bylaw subject to the requirements of Section 307.

318 Gravel Pits: Equipment Storage and Maintenance

Where gravel, sand or soil extraction occurs within or abutting an area zoned under Part 700 Residential Zones, and not within the Agricultural Land Reserve, the storage and maintenance of vehicles and equipment used on the lot shall be subject to the following conditions unless otherwise specified:

1. Buildings, structures, and outdoor areas used for storage and maintenance of equipment and vehicles shall have a minimum setback of 100.0 metres from all lot lines.
2. Buildings, structures, and outdoor areas used for storage and maintenance of equipment and vehicles shall be effectively screened and buffered from adjacent lots by a screen not less than 2.0 metres in height. Solid fencing may be as high as 3.0 metres. All screening shall be well maintained.
3. Gravel extraction areas, buildings, structures, and outdoor areas used for storage and maintenance of equipment and vehicles shall be buffered from adjacent watercourses by a minimum 50.0 metres vegetated setback.

319 Cannabis Production (Medical)

1. The establishment of cannabis production, or any component thereof, on non-ALR lands must not be permitted unless by a temporary use permit or rezoning of the land, in accordance with official community plan policies.

320 Off-Street Parking and Loading areas

1. General Requirements

- i) For every building or structure to be erected or enlarged, off-street automobile parking spaces having unobstructed access to a public street shall be provided and maintained on the subject property or an abutting property within the same zone.
- ii) Buildings conforming as to use but non-conforming as to required off-street parking spaces may be occupied, but shall not be extended unless the required off-street parking is provided for the entire building.
- iii) When off-street parking is required, a plan of the proposed parking arrangement, drawn at a scale of 1:500 metric, showing the off-street parking spaces and access driveways shall be filed with the Planning Department.

- iv) All parking areas shall be required with adequate driveways to facilitate vehicular movement to and from all parking spaces. Parking areas on adjoining lots may be served by common exits and entrances.
- v) No parking space in a parking area shall gain access directly from a highway.
- vi) No parking space shall be located within 1.5 metres of any lot line.
- vii) No parking space shall be located within 15.0 metres of any watercourse.
- viii) Parking and loading areas and other impervious surface shall not be located within 15.0 metres of the natural boundary of the sea.
- ix) Parking and loading areas and other imperious surfaces shall not be located within 30.0 metres of the natural boundary of Comox Lake
- x) Where 10 or more off-street automobile parking spaces are provided under this bylaw in connection with a use, building or structure, bicycle parking facilities shall be provided at a ratio of one bicycle space for every 10 automobile spaces.

321 Buffers and Screening for Existing Industrial and Commercial Operations

1. Where residential or commercial use is developed adjacent to or abutting an existing industrial operation, any buffers or screening required between the two uses shall be provided on the lot or lots where residential or commercial use is being established.
2. Where an industrial use is developed adjacent to or abutting an existing residential or commercial use, any buffers or screening required between the two uses shall be provided on the lot or lots where the industrial use is being established.

322 Farm Buildings

1. Any building used to accommodate domesticated, exotic or display animals, other than household pets, shall be sited not less than 50.0 metres from the boundary of any lake, sea or watercourse.

323 Signage

1. General regulations

- i) Subject to subsection (ii), signs may be located on a lot of land only if the sign relates to a product, service, place, activity, person, institution, or business located on the same lot.
- ii) The following signs may be located on any lot:
 - a) Signs identifying or giving directions to a public facility, or utility use.
 - b) Political signs.
 - c) Special event signs.
- iii) The following types of signs are prohibited in all zones:

- a) Animated signs, being signs that use any form of movement to attract attention.
 - b) Inflatable signs, being signs displayed on a balloon or other inflatable device.
 - c) Flashing signs, being signs that use any variation or interruption in light intensity to attract attention or convey a message.
 - d) Portable/temporary signs, being signs that are displayed on a structure, device or vehicle that is designed to be moved from place to place
 - e) Converted vehicle sign, being signs displayed on a vehicle that is being used primarily as an advertising device rather than a means of transportation.
 - f) Roof signs, being signs erected on the roof of or above the parapet or cornice line of any building.
 - g) Signs attached to utility poles.
- iv) Maintenance
- a) All signs shall be maintained so as to prevent any danger to the public and so as to address any deterioration on account of damage, weather or other environmental conditions, or deterioration of materials.
 - b) Any signs located on a property which becomes vacant and unoccupied for a period of six months and any sign which pertains to a time, event or purpose which has passed or is otherwise obsolete, shall be removed by the owner of the land within thirty days of a receipt of a written notification by Comox Valley Regional District.
- v) Setbacks
- a) The setback of every part of a free standing sign from all lot lines shall be at least 1.5 metres.
 - b) No free standing sign shall be located within 6.0 metres of the intersection of two highways.
- vi) For Home Occupation, Bed and Breakfast and Domestic Industrial uses.
- a) One non-illuminated sign is permitted on any lot.
 - b) Sign area:
 - 1) Shall not exceed 0.6 square metres for a Home Occupation sign.
 - 2) Shall not exceed 1.5 square metres for a Bed and Breakfast, or Domestic Industrial Use sign.
 - c) The height of a free-standing sign shall not exceed 1.5 metres.
- vii) In Commercial and Industrial, Public and Institutional zones
- a) The maximum number of free standing signs is one per lot.
 - b) The maximum sign area is 3.0 square metres.
 - c) The height of a free standing sign shall not exceed 1.8 metres unless the sign is located on a frontage abutting the Island Highway 19A or Ryan Road where a height of up to 5.0 metres is permitted.

- d) A free standing sign may be illuminated.

DRAFT

Part 400**Siting Specifications****401 Sight Triangles**

1. No person, being the owner, occupier or lessee of any land at the intersection of two highways shall place or permit to be placed or grow any tree, shrub, plant, fence or other structure with any horizontal dimension exceeding 0.6 metres within the sight triangle above an elevation such that an eye 0.9 metres above the surface of one highway cannot see an object 0.9 metres above the surface of the other highway.
2. All buildings and structures shall be setback a minimum of 4.5 metres from the sight triangle.

402 Road Setbacks**1. Island Highway No. 19A**

- i) No part of any building or structure shall be located within 22.5 metres of the centre line of the Island Highway except that in Electoral Area 'A' on the ocean side of the Island Highway a minimum setback of 19.5 metres from the centre line of the highway is required.
- ii) An additional 7.5 metres setback for frontage road purposes will be required where specified by the Ministry of Transportation and Infrastructure. Unless otherwise required by this Ministry, the road right-of-way for this highway is 30.0 metres.

2. Local Roads

- i) No part of any building or structure shall be located within 4.5 metres of a property line that abuts a highway.

3. Exceptions

- i) Where the siting requirements of any zone specify a larger setback than is provided for in this section, the most restrictive.

403 Siting Exemptions

The setback requirements of this Bylaw shall not apply with respect to the following features only:

1. Bay windows, eaves and gutters, cornices, rainwater leaders, ornamental features including pilasters, service station canopies, sills, stairs, sunlight control projections including sunshades, and other similar features not incorporating floor area, provided that such projections does not exceed 0.6 metres measures horizontally into the setback area or 0.76 metres in the case of eaves and gutters. Where eaves and gutters and sunlight controls project beyond the face of a building, the minimum distance to an abutting front, rear and side lot line required elsewhere in this bylaw may be reduced by not more than 50 per cent of such distance up to a maximum of 2.0 metres, provided that such reduction shall apply only to the projecting feature.
2. Open terraces, decks or patios without a roof structure, not exceeding 0.6 metres above the finished grade.

3. Free standing light poles, warning devices, antennas, utility poles, wires required for a public utility use, flagpoles, signs and sign structures, shoreline protection devices and retaining walls less than 2.0 metres in height.
4. Uncovered swimming pools provided that the pool is at a least 3.0 metres to any lot lines unless the pool is constructed with its surface at finished grade, in which case, the swimming pool shall be at least 1.5 metres from any lot line.

DRAFT

Part 500**Subdivision Regulations****501 Subdivision Standards****1. Area and Frontage Requirements**

- i) The minimum lot area requirements for subdivision within each zone shall be as specified in Parts 700, 800, 900, 1000 and 1100 of this bylaw except that where minimum lot areas are described as minimum average lot areas, lots smaller than otherwise required may be created subject to the following:
 - a) The number of lots created by a plan of subdivision shall not exceed the number of lots that could be otherwise created at the required minimum lot area; and
 - b) The owner of the land to be subdivided has first caused to be registered in the Land Title Office a covenant under Section 219 of the *Land Title Act* in favour of the Regional District, prohibiting the further subdivision of any lot having an area greater than twice the minimum lot area.
- ii) The minimum lot area requirements for subdivision specified in Parts 700, 800, 900, 1000 and 1100 of this bylaw apply to any building strata plan that creates a strata lot for an entire building.
- iii) The minimum frontage of a lot created by subdivision shall be 10 per cent of the perimeter of the lot unless specified otherwise elsewhere in this bylaw. For this purpose, the water boundary of any lot that abuts a water body or the sea is deemed to be frontage.
- iv) Lots that abut a water body or the sea must have a frontage to depth ratio of at least 1:3 in the case of rectangular lots and an average width to average depth ratio of at least 1:3 in the case of irregularly shaped lots.

2. Lot Area Exemption

- i) The minimum lot area requirement shall not apply to a subdivision:
 - a) Where a Crown lease is granted.
 - b) Lots which consist of two (2) or more parts physically separated by the following:
 - 1) A highway, which was dedicated prior to the adoption of this bylaw.
 - 2) A railway under the jurisdiction of the *Railway Act* and amendments thereto may be subdivided along the dividing highway or the railway in spite of the fact that the newly created lots fail to meet the minimum lot area requirements of this bylaw. All newly created lots shall be required to meet the requirements of other authorities having jurisdiction with respect to the provision of water, method of sewage disposal and access. Areas marked “Return to Crown” as indicated on a registered plan shall not be exempt from this provision.

- ii) The minimum lot area requirement shall not apply to building strata subdivisions created under the *Strata Property Act* within the following zones, where higher density is permitted: C-1, C-1A, TC-1 and TC-2 zones only. This provision is subject to the parent lot meeting the required minimum lot area as stated within the applicable lot area requirement section of the zone prior to strata subdivision.
- iii) A lot being created to be used for utility, park or trail use or for the installation of equipment necessary for the operation of community water, sewer or drainage systems.

3. Subdivision to Provide Residence for a Relative

- i) No subdivision is permitted under section 514 of the *Local Government Act*, on lands not within the Agricultural Land Reserve, unless the lot being subdivided is at least two times the minimum lot area specified for the applicable zone.

4. Works and Services

- i) Where the proposed subdivision is situated within a Service Area, the Regional District, as a condition of subdivision, shall require the applicant or owner of the proposed subdivision:
 - a) To submit a plan of subdivision to the Regional District for approval respecting a waterworks system and/or sewer system.
 - b) To retain at their expense, a Professional Engineer who will design the required services, prepare specifications covering installation of the work, carry out all necessary surveys in connection with design and installation of services and upon completion of the design and specification, shall submit drawings to the Regional District Engineer or such person as designated. All aspects of this work shall be carried out in accordance with good engineering practices, and to the water supply standards and/or sewer standards, as set by the Regional District. No work shall commence until all plans and specifications are approved by the Regional District Engineer or such person as designated, and a Certificate of Approval has been received from the Ministry of Health or appropriate government agency.
 - c) To install at their own expense and at no cost to the Regional District, upon approval of the Regional District Engineer or such person as designated and under the supervision of the applicant’s consulting Engineer, all water mains, fire hydrants, meters, and other fittings and appurtenances deemed necessary by the Regional District to provide an adequate supply of water for domestic and commercial use and fire protection for the future growth or expansion of said subdivision and shall pay for all engineering costs, the said water mains, hydrants, meters, fittings and appurtenances shall become the property of the Regional District.
 - d) To comply with the requirements of the Service Area in regard to payment of development cost charges as set out by separate bylaw.
- ii) The subdivision plan will not be given final approval until the design of works and services has been approved and the works and services installed and tested.

- iii) A notice of acceptance shall not relieve the applicant or owners of responsibility for faulty materials or defective workmanship. The applicant or owner guarantees to maintain the work against any defects arising from faulty installation, faulty materials supplied or faulty workmanship which may appear within one year of the date of acceptance.

DRAFT

Part 600**Mobile Home Park
Regulations and Standards**

Mobile home parks shall not be established or extended except in accordance with the following regulations and standards.

601 General Requirements

1. No person shall construct or extend a mobile home park until a mobile home park permit has been issued by the Regional District.
2. The issuance of a mobile home park permit shall not relieve any person from obtaining the necessary building permits and other necessary approvals for the siting and construction of buildings and structures, and the alteration of land.
3. All provisions of this schedule shall apply to mobile home parks established after the date of adoption of this bylaw, and to any additional mobile home pads or alteration or addition of services to existing mobile home parks.

602 Occupancy

1. No land may be used or occupied as a mobile home park until all requirements of the mobile home park permit have been completed.
2. Where a mobile home park permit indicates a phased program of construction, the Regional District may authorize occupancy of each phase of development once the requirements of the mobile home park permit for that phase have been completed.
3. The Regional District may require as a condition of the issuance of a mobile home park permit that the holder provide a performance bond or other security in the amount and form prescribed in the permit to ensure that the development of additional phases is completed in accordance with the permit. Any interest earned on the security shall accrue to the holder of the permit.
4. A mobile home park owner shall not permit occupancy of a mobile home space until all the requirements of this bylaw have been satisfied.

603 Standards**1. Mobile Home Space**

- i) The minimum area and width of each mobile home space in a mobile home park are:
 - a) 325.0 square metres and 12.0 metres for spaces intended for a single wide mobile homes, and
 - b) 460.0 square metres and 14.5 metres for spaces intended for double-wide mobile homes.
- ii) Each mobile home space shall be clearly marked off by permanent, flush stakes, markers or other suitable means.
- iii) All mobile home spaces shall:

- a) Be drained to a storm sewer or other system constructed in accordance with generally accepted engineering practice.
- b) Be clearly numbered.
- c) Have a clearly discernible mobile home pad constructed in accordance with the *BC Building Code*.

2. Mobile Home Standards, Provisions and Installation Requirements

- i) All mobile homes shall meet or exceed the Canadian Standards Association Standard Z240, as the case may be.
- ii) In mobile homes located in a mobile home park:
 - a) The installation and maintenance of all oil burners and oil-burning equipment and appliances using inflammable liquids as fuel;
 - b) The storage and disposal of inflammable liquids and oils;
 - c) The installation, maintenance, carriage, and use of compressed gas systems.
- iii) No mobile home shall be located elsewhere in a mobile home park than in a mobile home area on a mobile home pad authorized by a mobile home park permit.
- iv) No more than one mobile home shall be located in a mobile home space.
- v) Notwithstanding Subsection (iii), no more than one unoccupied mobile home for every 10 mobile home spaces in a park may be located in a designated storage area.

3. Setbacks and Height:

- i) No mobile home shall be located within 6.0 metres of another mobile home, or 1.5 metres of an accessory building.
- ii) No part of any mobile home or any addition shall be located:
 - a) Within 2.0 metres of any internal access road right-of-way or common parking area.
 - b) Within 1.5 metres of any boundary of the mobile home space.
- iii) No building or structure in a mobile home park shall exceed 4.5 metres in height with the exception of an owner’s residence which may be as high as 10.0 metres when the residence is a conventional site-built dwelling unit.

4. Skirting:

- i) Skirtings shall be installed within sixty days of installation of a mobile home on a mobile home pad, and shall have one easily removable access panel of a minimum width of 1.2 metres for inspecting or servicing the service connections to the mobile home. Such an access panel shall be located close to the point at which such services are located under the mobile home.
- ii) Skirtings shall be factory prefabricated or of equivalent quality and shall be painted or pre-finished so that the design and construction complement the design and construction of the mobile home.

5. Permissible Structural Additions:

- i) Only the following additions to mobile homes are permitted:
 - a) Carports and garages
 - b) Shelters against sun or rain (ramadas)
 - c) Vestibules; and
 - d) Rooms.

6. Parking (Off-Roadway):

- i) One level easily accessible automobile parking space shall be provided near each mobile home. In addition, for every two mobile homes spaces abutting a collector or distributor road, one additional automobile parking space shall be provided and for every one mobile home located adjacent to a minor roadways, one additional automobile parking space shall be provided.
- ii) Parking spaces shall be graded for proper drainage and be paved or have a compacted gravel surface.
- iii) Each parking space shall be a minimum of 2.5 metres wide by 6.0 metres long.

7. Owner's Residential Plot:

- i) An owner's residential plot shall be permitted within a mobile home park if the area of the plot is not less than 325.0 square metres when the residence is a mobile home unit, and 560.0 square metres when the residence is a site-built dwelling unit.
- ii) An owner's residential plot shall include sufficient area to provide one off-street automobile parking space for the owner's use and a minimum of 2 parking spaces for visitors and customers, in each case with a minimum width of 2.5 metres and a minimum length of 6.0 metres, properly drained and paved or having a compacted gravel surface.

8. Tenant's Storage

- i) One storage building may be constructed on each mobile home space, provided that:
 - a) It has a maximum floor area of 9.0 square metres; and
 - b) It does not exceed 2.5 metres in height.
- ii) No tenant storage building shall be located within 1.5 metres of another building, mobile home or structure, or within 2.0 metres of any internal access road, right-of-way, or common parking area.

9. Service Buildings and Storage Areas

- i) At least one outdoor storage area having a surface area of at least 27.0 square metres for each mobile home space must be provided within each mobile home park. The storage area shall be located in a section of the park where it will not create a nuisance as to siting, sound, or smell, be adequately landscaped, provide adequate security, and not be located in any buffer or recreation area required by this bylaw.

Site coverage of that part of a lot required for the storage area shall not exceed 50 per cent.

- ii) Each mobile home park shall be equipped with a park office or other suitable facility including a designated mobile home staffed by a mobile home park operator, in which a copy of the mobile home park permit is posted, for:
 - a) The reporting of problems of tenants concerning park facilities or other matters for which the operator is responsible; and
 - b) The delivery of mail for each mobile home occupant where individual postal delivery to each mobile home is not available.

10. Recreation Areas

- i) Not less than 5 per cent of the site area of the mobile home park shall be provided for tenants’ recreational uses, in a convenient and accessible location. For the purpose of calculating recreational space provided, any indoor recreational space provided shall be counted as double its actual area.
- ii) The recreation areas shall not include the area of any mobile home space, parking area, outdoor storage area or building area other than indoor recreation space.
- iii) In mobile home parks where more than 1000.0 metres² of recreation space are required, two or more recreational areas may be provided.
- iv) Recreation areas in the mobile home park, except indoor recreation facilities, shall be of a grass, concrete or asphaltic surface and shall be properly landscaped.
- v) Swimming pools, if provided, shall be enclosed by a fence not less than 1.5 metres in height complying with all Mobile Home Park (MHP) zone setbacks.

11. Access, Roadways and Walkways

i) **Access**

At least two accesses from a public highway separated by at least 60.0 metres, shall be provided to each mobile home park containing 50 or more mobile home spaces.

ii) **Roadways and Walkways**

- a) All mobile home spaces, owner's residential plot, storage areas, and service buildings as well as other facilities where access is required shall have access by internal road systems.
- b) Minimum roadway width requirements shall be as follows:
 - 1) Collector or Distributor roads shall have a minimum paved width of 6.5 metres and a minimum right-of-way width of 12.0 metres.
 - 2) Minor Roadways:
 - i) Cul-de-sacs and two-way minor roads shall have a minimum paved width of 4.9 metres and a minimum right-of-way width of 9.0 metres.
 - ii) One-way minor roads shall have a minimum paved (surfaced) width of 4.3 metres and a right-of-way of 9.0 metres.

- iii) One-way minor roads shall not exceed 150.0 metres in length.
 - iv) Cul-de-sacs shall not exceed 100.0 metres in length.
 - v) Dead-end roads and cul-de-sacs shall have a turning circle right-of-way at the dead-end with a radius of at least 12.0 metres.
- c) Individual walkways shall be provided for access to each mobile home space from a street or parking space connected to the street.

12. Drainage

- a) Paved gutters, drain lines or other necessary surface drainage structures shall be constructed in accordance with generally accepted engineering practice where erosion due to a high run-off velocity can occur or where fish habitat could be affected. Where run-off quantities exceed natural drainage limitations, catch basins, storm sewers and detention ponds shall be constructed in accordance with accepted engineering practice to mitigate impacts on fish habitat by limiting the increase in rate of water run-off to the hydraulic capacity of the natural drainage system.
- b) Paved gutters shall be of brick, concrete, or other durable material of adequate depth and width for the intended use and installed in such a manner that they will provide permanent drainage with reasonable maintenance.

13. Water Supply

- i) The owner of the mobile home park shall supply the Regional District with proof of adequate water quantity and quality.
- ii) Waterworks systems shall be designed, fabricated and installed in accordance with generally accepted engineering practice.
- iii) Potable water shall be distributed to:
 - a) Each mobile home space; and
 - b) Standpipes or hydrants, if required
- iv) Water shall not be distributed to any point other than an approved plumbing fixture, hose bib, stand pipe or hydrant.
- v) Each water service line serving a mobile home space shall have a minimum diameter of 19.0 millimetres.
- vi) The design and installation of the waterworks system require the approval of the Regional District.

14. Sewage Treatment and Disposal Systems:

- i) The owner of a mobile home park shall provide for the disposal of all wastewater effluent that is generated within the mobile home park by providing a sewage system connected to all plumbing fixtures and sewer service lines in the mobile home park and either connected to a community sewer system or complying with the Sewerage System Regulations.
- ii) In each mobile home space a sewer service connection shall be gas-tight, protected from mechanical damage and protected from rainwater infiltration.

- iii) For the purpose of determining pipe sizes, each mobile home space shall be considered as having a hydraulic load according to requirements of the *BC Plumbing Code*.

15. Garbage Disposal

- i) The owner of a mobile home park shall dispose or arrange for disposal of garbage or refuse.
- ii) If the owner of a mobile home park establishes one or more garbage disposal areas within the park for the collection of garbage and refuse, the owner shall:
 - a) Provide bear-proof metal containers in adequate number to accommodate the garbage from all occupied mobile home spaces in the park.
 - b) Maintain the containers so that they shall not become foul-smelling, unsightly, or a breeding place for flies; and
 - c) Screen the areas from adjacent mobile home spaces with shrubs, trees or fencing.
- iii) If garbage is to be disposed of on the site, the methods and locations shall be in accordance with the *Environmental Management Act*.

16. Fire Hydrants

- i) Fire hydrants shall be installed and connected to the internal water supply of a mobile home park such that no mobile home space is beyond 120.0 metres from a fire hydrant, as measured along the internal and/or external roadway system.

17. Street Lighting

- c) Street lighting shall be installed and maintained to adequately illuminate the traveled portion of the mobile home park roadway at the following locations:
 - a) The intersection of access roads and public highways.
 - b) All internal intersections.
 - c) The turning circle of cul-de-sacs.
 - d) Any point at which an internal roadway changes direction 30° or more.

18. Buffer

- i) Every mobile home park shall have immediately within all its boundaries, a buffer of a minimum of 4.5 metres in width within which:
 - a) No recreation, automobile parking or storage areas shall be located, except for recreation areas abutting a water body.
 - b) No mobile home space or owner's residential plot shall be located.
 - c) No building or structure shall be erected or placed, except a sign, fence or walk.
 - d) No garbage disposal area and no part of any sewage disposal system, other than such parts of such systems as may be underground, shall be located.

- e) Except to mitigate an immediate hazard, no plant material shall be removed nor any substance of which land is composed be deposited or removed, except as a part of a scheme to improve the buffering or aesthetic effect of the area.
- ii) No internal access roadways shall be constructed within the buffer other than those which are required to provide access to a highway. Such access roadway shall be as close to right angles to the highway as is practical and shall not provide direct access to the highway from any mobile home space.

DRAFT

Part 700**RESIDENTIAL ZONES****701****Residential One (R-1)****1. Principal Use**

- i) **On any lot:**
 - a) Single detached dwelling
- ii) **On any lot over 4000 square metres**
 - a) Agriculture use

2. Accessory Uses

- i) **On any lot:**
 - a) Carriage house;
 - b) Secondary suite;
 - c) Secondary dwelling;
 - d) Home occupation;
 - e) Bed and Breakfast.
- ii) **On any lot 2000 square metres in area or larger:**
 - a) Domestic agriculture
- iii) **On any lot 2.0 hectares in area or larger:**
 - a) Domestic industrial use

3. Density

- i) **Residential density is limited to two dwelling units:**
 - a) **On any lot:** one single detached dwelling and one carriage house, secondary suite, or secondary dwelling limited in area to 90.0 square metres are permitted.

4. Siting and Height of Buildings and Structures

The maximum height of single detached dwellings is 10.0 metres and the maximum height of accessory buildings is 7.0 metres.

- i) The minimum setbacks required for buildings and structures shall be as set out in the table below.

Required Setback

Type of Use	Height of Structure	Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal		4.5m	4.5m	1.75m	4.5m
Accessory	4.5m or less	4.5m	1.0m	1.0m	4.5m
Accessory	7.0m - 4.6m	4.5m	4.5m	1.75m	4.5m

5. **Lot Coverage**

- i) The lot coverage of all buildings and structures shall not exceed 35 per cent.

6. **Floor Area Requirements**

- i) The combined floor area of all accessory buildings excluding the floor area of any secondary residential use shall not exceed 200.0 square metres.

7. **Subdivision Requirements**

- i) The minimum permitted lot area for lands shown in the zoning layer at <http://imap2.comoxvalleyrd.ca/imapviewer/> is 4.0 hectares.

ii) **Lot Area For All Other Lands**

The minimum lot area for subdivision is 1.0 hectare

End • R-1

702**Residential One B (R-1B)****1. Principal Use**

- i) **On any lot:**
 - a) Single detached dwelling

2. Accessory Uses

- i) **On any lot:**
 - a) Secondary suite;
 - b) Home occupation;
 - c) Bed and Breakfast.
- ii) **On any lot 2000 square metres in area or larger:**
 - a) Domestic agriculture
- iii) **On any lot 2.0 hectares in area or larger:**
 - a) Domestic industrial use

3. Density

- i) **Residential density is limited to two dwelling units:**
 - a) **On any lot:** one single detached dwelling and one secondary suite are permitted.

4. Siting and Height of Buildings and Structures

The maximum height of single detached dwellings is 10.0 metres and the maximum height of accessory buildings is 7.0 metres.

- i) The minimum setbacks required for buildings and structures shall be as set out in the table below

Type of Use	Height of Structure	Required Setback			
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal		4.5m	4.5m	1.75m	4.5m
Accessory	4.5m or less	4.5m	1.0m	1.0m	4.5m
Accessory	7.0m - 4.6m	4.5m	4.5m	1.75m	4.5m

5. Lot Coverage

- i) The lot coverage of all buildings and structures shall not exceed 35 per cent.

6. **Subdivision Requirements**

- i) The minimum permitted lot area for lands shown in the zoning bylaw layer at <http://imap2.comoxvalleyrd.ca/imapviewer/> is 4.0 hectares.
- ii) **Lot Area For All Other Lands**

The minimum lot area for subdivision is 1.0 hectare:

End • R-1B

703**Residential-Rural (R-RU)****1. Principal Use**

- i) **On any lot:**
 - a) single detached dwelling
- ii) **On any lot over 4000 square metres in area:**
 - a) Agricultural use

2. Accessory Uses

- i) **On any lot:**
 - a) Carriage house
 - b) Secondary suite
 - c) Secondary dwelling
 - d) Home occupation
 - e) Bed and Breakfast
- ii) **On any lot 2000 square metres in area or larger:**
 - a) Domestic agriculture
- iii) **On any lot 2.0 hectares in area or larger**
 - a) Domestic industrial use

3. Density**Residential density is limited to two dwelling units:**

- a) **On any lot:** one single detached dwelling and one carriage house or secondary dwelling are permitted.

4. Siting and Height of Buildings and Structures

The maximum height of single detached dwellings is 10.0 metres and the maximum height of accessory buildings is 7.0 metres.

The minimum setbacks required for buildings and structures shall be as set out in the table below.

Type of Use	Height	Required Setback				
		Front Yard	Rear Yard	Side Yard		Side Yard Abutting Road
				Front Lot Line <31m	Front Lot Line >31m	
Principal		7.5m	7.5m	1.75m	3.5m	4.5m
Accessory	4.5m or less	7.5m	1.0m	1.0m	1.0m	4.5m
Accessory	7.0m - 4.6m	7.5m	7.5m	1.75m	3.5m	4.5m

5. **Lot Coverage**

- i) The lot coverage of all buildings and structures shall not exceed 35 per cent.

6. **Floor Area Requirements**

- ii) The combined floor area of all accessory buildings excluding the floor area of any secondary residential use shall not exceed 200.0 square metres.

7. **Subdivision Requirements**

- i) The minimum permitted lot area for lands shown in the zoning bylaw layer at <http://imap2.comoxvalleyrd.ca/imapviewer/> is 4.0 hectares.

ii) **Lot Area For All Other Lands**

The minimum lot area for subdivision is 1.0 hectare:

End • R-RU

704**Country Residential One (CR-1)****1. Principal Use**

- i) **On any lot:**
 - a) Single detached dwelling
- i) **On any lot over 4000 square metres in area:**
 - a) Agricultural use

2. Accessory Uses

- i) **On any lot:**
 - a) Carriage house
 - b) Secondary suite
 - c) Secondary dwelling
 - d) Home occupation use
 - e) Bed and Breakfast
- i) **On any lot 2000 square metres in area or larger:**
 - a) Domestic agriculture.
- ii) **On any lot 2.0 hectares in area or larger**
 - a) Domestic industrial use
 - b) Animal kennel

3. Conditions of Use

- i) **Animal kennels shall be subject to the following conditions:**
 - a) A minimum setback for buildings and structures of 15.0 metres along all lot lines.
 - b) A minimum setback for buildings and structures of 30.0 metres from any lot line abutting a lot zoned under Part 700 Residential Zones.
 - c) All structures and area utilized in association with the animal kennel, shall be sited at least 30.0 metres from the boundary of any lake, sea or watercourse.
 - d) No loading or storage areas shall be located in any required setback.
 - e) Screening shall be provided of not less than 1.5 metres in height for animal kennel use abutting a lot zoned under Part 700 Residential Zones.
 - f) No more than one sign, not exceeding 1.0 square metre in area on each side may be placed on the lot on which the animal kennel use is carried out.

4. Density

- i) **Residential density is limited to two dwelling units:**

- a) **On any lot:** one single detached dwelling and one carriage house, or secondary dwelling limited in area to 90 square metres are permitted.
- b) **On a lot 1.0 hectare or larger:** two single detached dwellings.

5. Siting and Height of Buildings and Structures

The maximum height of single detached dwellings is 10.0 metres and the maximum height of accessory buildings is 7.0 metres.

- i) The minimum setbacks required for buildings and structures shall be as set out in the table below.

Type of Use	Height of Structure	Required Setback				
		Front Yard	Rear Yard	Side Yard		Side Yard Abutting Road
				Front Lot Line <31m	Front Lot Line >31m	
Principal		7.5m	7.5m	1.75m	3.5m	4.5m
Accessory	4.5m or less	7.5m	1.0m	1.0m	1.0m	4.5m
Accessory	7.0m - 4.6m	7.5m	7.5m	1.75m	3.5m	4.5m

6. Lot Coverage

- i) The lot coverage of all buildings and structures shall not exceed 35 per cent.

7. Floor Area Requirements

- ii) The combined floor area of all accessory buildings excluding the floor area of any secondary residential use shall not exceed 200.0 square metres.

8. Subdivision Requirements

- i) The minimum permitted lot area for lands shown in the zoning bylaw layer at <http://imap2.comoxvalleyrd.ca/imapviewer/> is 4.0 hectares.

ii) **Lot Area For All Other Lands**

The minimum lot area for subdivision is 2.0 hectares

End • CR-1

705

Mobile Home Park (MHP)

1. **Principal Use**

- i) **On any lot:**
 - a) Mobile home park

2. **Accessory Uses**

- i) **On any lot:**
 - a) Home occupation.

3. **Conditions of Use**

- iii) Development of Mobile Home Parks shall comply with the requirements of Part 600, “Mobile Home Park Regulations and Standards”.

4. **Siting of Structures**

- i) Except where otherwise specified in this bylaw, no building or structure shall be located within:
 - a) 7.5 metres of a front lot line
 - b) 7.5 metres of a rear lot line
 - c) 7.5 metres of a side lot line

5. **Lot Coverage**

- i) The lot coverage of all buildings and structures shall not exceed 40 per cent.

6. **Density**

- i) The maximum density for a mobile home park is 20 mobile homes per 1.0 hectare.

7. **Subdivision Requirements**

- i) The minimum permitted lot area for lands shown in the zoning bylaw layer at <http://imap2.comoxvalleyrd.ca/imapviewer/> is 4.0 hectares.
- ii) **Minimum Lot Area For All Other Lands**
 The minimum lot area permitted is 2.0 hectares.

End • MHP

706**Residential Multiple (RM)****1. Principal Use**

- i) **On any lot:**
 - a) Boarding house
 - b) Duplex dwelling

2. Conditions of Use

- i) Parking areas shall be located at least 6.0 metres away from habitable rooms at or below grade.

3. Density

- i) **Residential density is limited to:**
 - a) **On any lot:** 30 units per hectare.

4. Siting and Height of Buildings and Structures

The maximum height of duplex dwellings is 10.0 metres and the maximum height of accessory buildings is 6.0 metres.

- i) The minimum setbacks required for buildings and structures shall be as set out in the table below.

Type of Use	Height of Structure	Required Setback			
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal		7.5m	7.5m	3.5m	4.5m
Accessory	4.5m or less	4.5m	1.0m	1.0m	4.5m
Accessory	6.0m - 4.6m	4.5m	4.5m	3.5m	4.5m

5. Lot Coverage

- i) The lot coverage of all buildings and structures shall not exceed 40 per cent.
- ii) The lot coverage of all buildings and structures, driveways, and parking areas, shall not exceed 60 per cent.

6. Subdivision Requirements

- i) The minimum permitted lot area for lands shown in the zoning bylaw layer at <http://imap2.comoxvalleyrd.ca/imapviewer/> is 4.0 hectares.
- ii) **Minimum Lot Area For Other All Lands:** The minimum lot area for subdivision is 4000 square metres.

End • RM

PART 800**RURAL / RESOURCE ZONES****801****Rural Eight (RU-8)****1. Principal Use**

- i) **On any lot:**
 - a) Single detached dwelling
 - b) Agricultural use
 - c) Plant nursery and greenhouse
 - d) Riding academy
 - e) Silviculture
 - f) Aquaculture
 - g) Veterinary establishment
 - h) Fish hatchery (including community based)
- ii) **On any lot 2.0 hectares in area or larger:**
 - a) Animal kennels
- iii) **On any lot 8.0 hectares in area or larger:**
 - a) Wood processing or permanent sawmills occupying an area of not more than 1000.0 square metres including vehicle parking, and log sort and lumber storage areas.
 - b) Crushing and screening of sand and gravel.

2. Accessory Uses

- i) **On any lot:**
 - a) Carriage house
 - b) Secondary suite
 - c) Secondary dwelling
 - d) Home occupation
 - e) Bed and breakfast
 - f) Domestic industrial use
 - g) Pet crematorium.

3. Conditions of Use

- i) **Animal kennels shall be subject to the following conditions:**
 - a) Minimum setback of buildings and structures of 15.0 metres along all lot lines.
 - b) All structures and area utilized in association with the animal kennel, shall be sited at least 30.0 metres from the boundary of any lake, sea or watercourse.

- c) No parking, loading or storage areas shall be located in any required setback area.
 - d) Screened shall be provided on not less than 1.5 metres in height for animal kennel.
 - e) No more than one sign, not exceeding 1.0 square metre in area on each side may be placed on the lot on which the animal kennel use is carried out.
- ii) **All sawmill uses or portable sawmill uses shall be subject to the following conditions:**
- a) Minimum setback of buildings and structures of 30.0 metres along all lot lines.
 - b) Uses shall be screened and buffered from adjacent properties through maintenance of natural vegetation of not less than 2.0 metres in height.
 - c) All structures and area utilized in association with sawmill uses or potable sawmill uses, shall be sited at least 30.0 metres from the boundary of any lake, sea or watercourse.
 - d) Uses abutting an area zoned under Part 700 Residential Zones shall be screened and buffered from adjacent properties through the use of fencing, berming or evergreen vegetation being not less than 2.0 metres in height. Solid fencing may be as high as 3.0 metres.
- iii) **All gravel, sand crushing and screening operations shall be subject to the following conditions:**
- a) Minimum setback of buildings and structures of 30.0 metres along all lot lines.
 - b) Minimum yard clearance of 60.0 metres from any lot where gravel, sand or soil extraction occurs within or abutting an area zoned under Part 700 Residential Zones.
 - c) Minimum setback requirement for stockpiles shall be 15.0 metres along all lot lines.
 - d) No parking, loading or storage areas shall be located in any required yards.
 - e) Uses shall be screened and buffered from adjacent properties through maintenance of natural vegetation of not less than 2.0 metres in height.
 - f) Uses abutting an area zoned under Part 700 Residential Zones shall be screened and buffered from adjacent properties through the use of fencing, berming or evergreen vegetation being not less than 2.0 metres in height. Solid fencing may be as high as 3.0 metres.
 - g) Uses abutting riparian or environmentally sensitive areas (ESA's) shall be setback a minimum of 30.0 metres.
4. **Density**
- i) **Residential density is limited to two dwelling units:**
- a) **On any lot:** one single detached dwelling and one carriage house, secondary suite, or secondary dwelling are permitted.
 - b) **On any lot greater than 1.0 hectare in area:** two single detached dwellings.

5. Floor Area Requirements

- i) The combined floor area of all accessory buildings excluding the floor area of any secondary residential use shall not exceed 300.0 square metres.

6. Siting and Height of Buildings and Structures

The maximum height of single detached dwellings is 10.0 metres and the maximum height of accessory buildings is 8.0 metres, or 10.0 metres in the case of an aquaculture building.

- i) The minimum setbacks required for buildings and structures shall be as set out in the table below.

Type of Use	Heights of Structure	Required Setback				
		Front Yard	Rear Yard	Side Yard		Side Yard Abutting Road
				Front Lot Line <31m	Front Lot Line >31m	
Principal		7.5m	7.5m	1.75m	3.5m	7.5m
Accessory	4.5m or less	7.5m	1.0m	1.0m	1.0m	7.5m
Accessory	8.0m - 4.6m	7.5m	7.5m	1.75m	3.5m	7.5m
Aquaculture	10.0m	7.5m	7.5m	7.5m	7.5m	7.5m

7. Lot Coverage

- i) The lot coverage of all buildings and structures shall not exceed 15 per cent.

8. Subdivision Requirements

- i) **Minimum lot area:** 8.0 hectares

End – RU-8

802**Rural Twenty (RU-20)****1. Principal Use**

- i) **On any lot:**
 - a) Single detached dwelling
 - b) Agricultural use
 - c) Veterinary establishment
 - d) Plant nursery and greenhouse
 - e) Silviculture
 - f) Fish Hatchery
- ii) **On any lot greater than 2.0 hectares in area the following uses are also permitted:**
 - a) Animal kennel
 - b) Riding academy
- iii) **On any lot greater than 4.0 hectares in area the following uses are also permitted:**
 - a) Wood processing
 - b) Sawmill including portable sawmill
 - c) Gravel, mineral or peat extraction, gravel crushing and screening, excluding manufacturing or sales of concrete or concrete products
- iv) **On any lot 4.0 hectares in area or larger classified as private managed forest land or farm pursuant to the *Assessment Act* or within a license area under the *Forest Act* the following uses are also permitted:**
 - a) Research and teaching facility
 - b) Rural resource centre to a maximum floor area of 300.0 square metres

2. Accessory Uses

- i) **On any lot:**
 - a) Carriage house
 - b) Secondary suite
 - c) Secondary dwelling
 - d) Bed and breakfast
 - e) Home occupation
 - f) Domestic industrial use
 - g) Retail and wholesale sales of agricultural and forestry products to a maximum floor area of 100.0 square metres

3. Conditions of Use

- i) **Animal kennels shall be subject to the following conditions:**

- h) Maintain a minimum setback of buildings and structures of 15.0 metres along all lot lines.
- i) All structures and area utilized in association with the animal kennel, shall be sited at least 30.0 metres from the boundary of any lake, sea or watercourse.
- j) No parking, loading or storage areas shall be located in any required setback area.
- k) Screened shall be provided on not less than 1.5 metres in height for animal kennel.
- l) No more than one sign, not exceeding 1.0 square metre in area on each side may be placed on the lot on which the animal kennel use is carried out
- ii) **Wood processing, gravel, sand and mineral extraction (including crushing and screening of aggregate extracted onsite), research and teaching facilities, and rural resource centres shall be subject to the following conditions:**
 - a) A minimum setback for buildings and structures of 15.0 metres along all lot lines.
 - b) Minimum setback requirement for stockpiles shall be 15.0 metres along all lot lines.
 - c) A minimum setback for buildings and structures of 30.0 metres from any lot line abutting a lot zoned Residential or Country Residential.
 - d) No loading or storage areas shall be located in any required setback.
 - e) Screening of not less than 2.0 metres in height shall be provided for wood processing uses and a rural resource centre abutting a lot zoned Residential.
 - f) Screening of not less than 1.5 metres in height shall be provided for wood processing uses and a rural resource centre abutting a lot zoned Country Residential.

4. Density

- i) **Residential density is limited to two dwellings units:**
 - a) **On any lot:** one single detached dwelling and one carriage house, secondary suite, or secondary dwelling limited in area to 90.0 square metres are permitted.
 - b) **On a lot greater than 1.0 hectare in area:** two single detached dwellings.

5. Siting and Height of Buildings and Structures

The maximum height of principal buildings is 10.0 metres and the maximum height of accessory buildings is 8.0 metres.

- i) The setbacks required for buildings and structures shall be as set out in the table below.

Type of Use	Height of Structure	Required Setback				
		Front Yard	Rear Yard	Side Yard		Side Yard Abutting Road
				Front Lot Line <31m	Front Lot Line >31m	
Principal		7.5m	7.5m	1.75m	3.5m	7.5m
Accessory	4.5m or less	7.5m	1.0m	1.0m	1.0m	7.5m
Accessory	8.0m - 4.6m	7.5m	7.5m	1.75m	3.5m	7.5m

6. **Floor Area Requirements**

- i) The combined floor area of all buildings and structures shall not exceed 15 per cent.

7. **Subdivision Requirements**

- i) **Minimum lot area:** 20.0 hectares

End • RU-20

802.1 Rural Twenty Density Bonus (RU-20DB)

1. Principal Use

- i) **On any lot:**
 - a) Single detached dwelling
 - b) Agricultural use

2. Accessory Uses

- i) **On any lot:**
 - a) Home occupation;
 - b) Domestic business;
 - c) Domestic industrial;
 - d) Riding academy;
 - e) Silviculture;
 - f) Shellfish aquaculture;
 - g) Upland finfish aquaculture;
 - g) Fish hatchery (including community-based);
 - h) Animal kennel;
 - i) Carriage house;
 - j) Secondary suite;
 - k) Secondary dwelling.

3. Density

- i) **Residential density is limited to two dwellings units:**
 - a) **On any lot:** one single detached dwelling and one carriage house, secondary suite, or secondary dwelling are permitted.
 - b) **On a lot greater than 10.0 hectare in area:** two single detached dwellings.

4. CONDITIONS OF USE

- i) **Riding academy, silviculture, aquaculture, and fish hatchery uses are subject to the following conditions:**
 - a) No merchandise to be displayed outdoors.
 - b) Loading areas to be screened to a height of 2.5 metres by coniferous vegetation or solid screen fence, or combination of the two.
 - c) Refuse and recycling facilities to be housed within a building or within an outdoor screened enclosure. Outdoor, screened enclosures are to be a minimum 2.5 metres in height.
 - d) No parking, loading or storage areas to be located within 4.5 metres of a property line.
- ii) **Animal kennels shall be subject to the following conditions:**

- m) Maintain a minimum setback of buildings and structures of 15.0 metres along all lot lines.
- n) All structures and area utilized in association with the animal kennel, shall be sited at least 30.0 metres from the boundary of any lake, sea or watercourse.
- o) No parking, loading or storage areas shall be located in any required setback area.
- p) Screened shall be provided on not less than 1.5 metres in height for animal kennel.
- q) No more than one sign, not exceeding 1.0 square metre in area on each side may be placed on the lot on which the animal kennel use is carried out

5. FLOOR AREA REQUIREMENTS

- i) The combined floor area of all accessory buildings excluding the floor area of any secondary residential use shall not exceed 400.0 square metres;
- ii) No single accessory building shall exceed 200.0 square metres.

6. Siting and Height of Buildings and Structures

The maximum height of principal buildings is 10.0 metres and the maximum height of accessory buildings is 8.0 metres.

- ii) The minimum setbacks required for buildings and structures shall be as set out in the table below.

Type of Use	Height of Structure	Required Setback				
		Front Yard	Rear Yard	Side Yard		Side Yard Abutting Road
				Front Lot Line <31m		
				Front Lot Line >31m		
Principal		7.5m	7.5m	3.0m	4.0m	7.5m
Accessory	4.5m or less	7.5m	3.0m	1.75m	1.75m	7.5m
Accessory	8.0m - 4.6m	7.5m	7.5m	1.75m	3.5m	7.5m

7. Lot Coverage

- i) On any lot 4.0 hectares in area, the lot coverage of all buildings and structures shall not exceed 25 per cent;
- ii) On any lot 4.0 hectares in area or larger, the lot coverage of all buildings and structures shall exceed 15 per cent.

8. Subdivision Requirements

i) Lot Area

The minimum lot area: 20.0 hectares.

For property described as Lot 4, District Lot 12 (situated partly within District Lots 31G, 33G and 40G of Section 2) Nelson District, Plan 46828, Except Part in Plan

VIP68043 and a portion of Lot 33, Section 2A Nelson District except Plan VIP66877, except part in District Lots 12, 23 and 27 and except part in Plan VIP69915:

A density bonus to permit a maximum of 11 lots (each with a minimum lot area of 4.0 hectares) with provision of all community amenity contributions listed below:

Community Amenity Contributions	
a)	Donation to the CVRD of the approximately 1.8 hectare portion of Lot 4 east of the E&N rail corridor accessed from Rayne Road (Mystery Beach extension) for use as a public park.
b)	Construction of a gravel parking area in the southeast corner of the park space designed in accordance with CVRD specifications.
c)	Registration of a conservation covenant over Hindoo Creek and its area as defined through a RAR assessment prepared by a qualified environmental professional. To be registered over all proposed parcels, or part thereof, located within the riparian area of Hindoo Creek. The covenant will be held by a third party qualified to hold a conservation covenant to the satisfaction of the CVRD.
d)	Provision of a rainwater management plan (prepared by a qualified professional), to ensure that rainwater is managed on-site to prevent increases in potential flooding and erosion risks on adjacent and downstream properties, as required by provincial guidelines. The report should achieve Ministry of Transportation and Infrastructure design requirements, including reference to Stormwater Planning, A Guidebook for British Columbia, and the Water Balance Model for British Columbia. The report will be registered via restrictive covenant on the property (and on the titles of the future subdivided parcels).
e)	Construction of approximately 1.6 km of multi-use trails within existing road rights-of-way (i.e. “roadside greenway” on Brean and Rayne/Mystery Beach Roads) and proposed internal public road right-of-way, including rail crossings and a trail crossing over Hindoo Creek and culverts and/or crossings over the smaller watercourses that are identified on the CVRD sensitive habitat atlas, as required. Note that failing Ministry of Transportation approval for roadside greenways, the trails would be located adjacent to the public right-of-way on the subject property and public access secured through a statutory right-of-way.
f)	Construction of a 1km section of multi-use trail within the E&N rail corridor (i.e. “off road greenway”) including watercourse crossings and culverts as required. Trail to be constructed in accordance with CVRD specifications.

End • RU-20DB

803**Rural ALR (RU-ALR)****1. Principal Use**

- i) **On any lot:**
 - a) Single detached dwelling
 - b) Agricultural use
 - c) On any lot in the Agriculture Land Reserve any other use specifically permitted under the *Agricultural Land Commission Act*, regulations and orders

2. Accessory Uses

- i) **On any lot:**
 - a) Secondary suite
 - b) Home occupation

3. Conditions of Use

- i) Any conditions or limitations imposed elsewhere in this bylaw (See Section 303).

4. Density

- i) **Residential density is limited to:**
 - a) **On any lot:** one single detached dwelling plus additional dwelling units (attached or detached) where the additional dwelling units are required by full time farm employees working on farm operations or are specifically under the *Agricultural Land Commission Act*.

5. Siting and Height of Buildings and Structures

The maximum height of single detached dwellings is 10.0 metres and the maximum height of accessory buildings is 8.0 metres.

- i) The setbacks required for buildings and structures shall be as set out in the table below.

Type of Use	Height of Structure	Required Setback				
		Front Yard	Rear Yard	Side Yard		Side Yard Abutting Road
				Front Lot Line <31m	Front Lot Line >31m	
Principal		7.5m	7.5m	1.75m	3.5m	7.5m
Accessory	4.5m-or less	7.5m	1.0m	1.0m	1.0m	7.5m
Accessory	8.0m - 4.6m	7.5m	7.5m	1.75m	3.5m	7.5m

6. **Lot Coverage**

- i) The lot coverage of all buildings and structures, excluding greenhouses, shall not exceed 15 per cent.

7. **Subdivision Requirements**

- i) Minimum lot area: 8.0 hectares.
- ii) Minimum lot frontage: 10 per cent of the perimeter of the lot.

DRAFT

End • RU-ALR

804**Upland Resource (UR)****1. Principal Use**

- i) **On any lot:**
 - a) Silviculture
 - b) Agricultural use
 - c) Fish hatchery
 - d) Explosives sales, storage manufacturing and distribution
 - e) Firearm range
 - f) Wood processing
 - g) Gravel, mineral or peat extractions, gravel crushing and screening, bulk mixing, processing of soil mixtures for commercial resale
 - h) On any lot in the Agriculture Land Reserve any other use specifically permitted by the *Agricultural Land Commission Act*, regulations and orders.

2. Accessory Uses

- i) **On any lot:**
 - a) Single detached dwelling

3. Conditions of Use

- i) **All wood processing, gravel, sand and mineral extraction (including crushing and screening of aggregate extracted onsite), bulk mixing, processing of soil mixtures shall be subject to the following conditions:**
 - a) A minimum setback of 15.0 metres along all lot lines.
 - b) A minimum setback of 30.0 metres from any lot line abutting an area zoned under Part 700 Residential zones and Water Supply and Resource Area zones
 - c) No loading or storage areas shall be located in any required setbacks.
 - d) Uses abutting an area zoned under Part 700 Residential zones shall be screened and buffered from adjacent properties through the use of fencing, berm and evergreen vegetation being not less than 2.0 metres in height.
 - e) Uses abutting riparian or environmentally sensitive area shall be setback a minimum of 30.0 metres.

4. Density

- i) **Residential density is limited to:**
 - a) **On any lot:** One single detached dwelling.

5. Lot Coverage

- i) The lot coverage of all buildings and structures is 35 per cent to a maximum of 1000.0 square metres.

6. Siting and Height of Buildings and Structures

The maximum height of principal buildings and accessory single detached dwellings is 10.0 metres and the maximum height of accessory buildings is 7.0 metres.

- i) The setbacks required for buildings and structures shall be as set out in the table below.

Type of Use	Height of Structure	Required Setback				
		Front Yard	Rear Yard	Side Yard		Side Yard Abutting Road
				Front Lot Line <31m	Front Lot Line >31m	
Principal		7.5m	7.5m	1.75m	3.5m	7.5m
Accessory	4.5m or less	7.5m	1.0m	1.0m	1.0m	7.5m
Accessory	7.0m - 4.6m	7.5m	7.5m	1.75m	3.5m	7.5m

7. Subdivision Requirements

- i) The minimum lot area for subdivision shall be as follows:
- a) 40.0 hectares for the area east of the most westerly boundary of the BC Hydro transmission right-of-way Plans 509, 510, 511, 512, 914, 932, 933 and 934;
 - b) 40.0 hectares for the area within 1.0 kilometre (0.6 miles) west of the most westerly boundary of the said rights-of-way, with measurement made perpendicularly to the boundary of the said rights-of-way, except as modified in Clause (e);
 - c) 40.0 hectares for the areas approximately 1.0 kilometre (0.6 miles) east, south, and west of the Village of Cumberland, except as modified in Clause (e);
 - d) 400.0 hectares for the area more than 1.0 kilometre (0.6 miles) west of the most westerly boundary of the said right-of-way's, with measurement made perpendicularly to the boundary of the said rights-of-way except as modified in Clause (e);
 - e) Where a lot is subject to both the 40.0 and 400.0 hectare minimum lot area, the minimum lot area which applies to the greatest portion of the lot shall be the minimum lot area for creation of that lot. Where a lot is divided into portions of equal area, the minimum lot area in respect of the entire lot shall be 40 hectares.
- ii) The minimum permitted highway frontage for lots created by subdivision shall be 100.0 metres.

End • UR

805**Water Supply and Resource Area (WS-RA)****1. Principal Use**

- i) **On any lot:**
 - a) Silviculture use

2. Accessory Use

- i) Single detached dwelling

2. Condition of use

- i) No boat launch or docks are permitted, except for property that is water access only.

3. Density

Residential density is limited to:

- i) **On any lot:** one single detached dwelling.

4. Lot Coverage

- i) The lot coverage of all buildings and structures shall be 35 per cent of the total lot area to a maximum of 1000.0 square metres.

5. Siting and Height of Buildings and Structures

The maximum height of single detached dwellings is 10.0 metres and the maximum height of accessory buildings is 7.0 metres.

- i) The setbacks required for buildings and structures shall be as set out in the table below.

Type of Use	Height of Structure	Required Setback			
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal		7.5m	7.5m	7.5m	7.5m
Accessory	4.5m or less	7.5m	1.0m	7.5m	7.5m
Accessory	7.0m - 4.6m	7.5m	7.5m	7.5m	7.5m

6. Subdivision Requirements

- i) The minimum lot area for subdivision shall be 400.0 hectares.
- ii) The minimum permitted highway frontage for lots created by subdivision shall be 100.0 metres.

End • WS-RA

806**Drinking Water Protection (DWP)**

1. **Principal Use**
 - i) Utility use
 - ii) Low impact recreational use
2. **Condition of Use**
 - i) No boat launch or docks are permitted.

DRAFT

End • DWP

807**Aquaculture (AQ)****1. Principal Use**

- i) **On any lot:**
 - a) Shellfish aquaculture

2. Condition of use

- i) No structures, excluding navigational aids or wharves, shall extend more than 1.0 metres in height above the surface of the water at any point in time.
- ii) Any wharves use shall be directly associated with shellfish aquaculture.

End • AQ

808**Upland Aquaculture Facility (UAF)****1. Principal Use**

- i) **On any lot:**
 - a) Upland invertebrate hatchery
 - b) Upland Finfish aquaculture
 - c) Shellfish aquaculture
 - d) Saltwater and freshwater storage for aquaculture and hatchery purposes
 - e) Agriculture

2. Accessory Uses

- i) **On any lot:**
 - a) Office
 - b) Outdoor storage
 - c) Warehousing
 - d) Single detached dwelling

3. Conditions of Use

- i) Seafood processing is not permitted except for the stunning and bleeding of fish grown on site.
- ii) No floating or fixed structures may prevent access by an upland owner to water or over the surface of water to navigable areas.
- iii) No parking, loading or storage areas shall be located within 1.5 metres of any lot line.
- iv) All outdoor storage or supply yards shall be screened from any abutting property.
- v) All permitted uses listed in “upland invertebrate hatchery” shall be subject to the following conditions:
 - a) No merchandise shall be displayed outdoors on any upland aquaculture facility.
 - b) No mechanized processing is permitted on site.
 - c) No retail sales are permitted on site.
- vi) Upland aquaculture facilities shall be subject to the following parking requirements:
 - a) All required off-street parking spaces should be used only for the purposes of accommodating the vehicles of customers and employees and shall require 1.0 parking space for every 100.0 square metres of gross floor area.
 - b) Off-street parking, loading areas and ingress and egress points shall be located so as not to interfere with other on-site vehicular and off-site traffic movements abutting the streets.
- vii) Upland aquaculture facilities shall be subject to the following landscaping requirements:
 - a) Except for points of ingress and egress, landscaping is required for the

screening and enhancement of every upland aquaculture facility. The landscaping shall be maintained with lawns, shrubs, trees or other suitable landscaping of a type and location to the satisfaction of any one of the Comox Valley Regional District officers.

- b) All landscaping should constitute a minimum of 5 per cent of the site subject to such minor variations as any one of the Comox Valley Regional District officers may approve.
- c) Loading areas, garbage containers and recycling containers shall be screened to a height of at least 2.5 metres by a landscaping screen, a solid decorative fence, or a combination thereof.
- d) Where the upland aquaculture facility is situated on a lot having a boundary in common with any abutting property zoned under part 700 “residential zones”, and/or the Agricultural Land Reserve (ALR) on and along the full length of such boundary or portion of the boundary: a solid fence and/or a landscaped area measuring no less than 3.5 metres in width throughout its length and used only for the purpose of cultivating ornamental trees, shrubs, flowers and grass to the satisfaction of any one of the Comox Valley Regional District officers.
- e) Each UAF zone shall be allowed one freestanding sign for each street frontage of the business. The freestanding sign shall be permitted in landscaped areas only and located on the same lot as the facility. The height of the sign, including support structures, shall not exceed 6.0 metres and the area of any one face shall not exceed 4.5 square metres. The freestanding sign should not be illuminated.

4. **Density**

- i) **Residential density is limited to:**
 - a) On any lot: one single detached dwelling.

5. **Siting and Height of Building and Structures**

- i) The maximum height and minimum setbacks required for buildings and structures shall be as set out in the table below:

Type of Use	Maximum Height	Required Setback			
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal	12.0m	7.5m	7.5m	7.5m	7.5m
Dwelling unit	10.0m	7.5m	7.5m	3.5m	4.5m
Accessory	7.0m	7.5m	7.5m	7.5m	7.5m

6. **Lot Coverage**

- i) The lot coverage of all buildings and structures shall not exceed 50 per cent.

7. **SUBDIVISION REQUIREMENTS**

- i) The minimum lot area permitted is 2.0 hectares.

DRAFT

End • UAF

PART 900**COMMERCIAL & INDUSTRIAL ZONES****901****Commercial One (C-1)****1. Principal Uses**

- i) **On any lot:**
 - a) Service establishment
 - b) Retail and wholesale sale
 - c) Office
 - d) Veterinary establishment
 - e) Tourist accommodation
 - f) Restaurant
 - g) Craft Beverage Processing
 - h) Liquor licensed establishment
 - i) Assembly use
 - j) Institutional use
 - k) Recreation facility
 - l) Mini-storage

2. Accessory Uses

- i) **On any lot:**
 - a) Residential use limited one dwelling unit
 - b) Warehousing
 - c) Outdoor recreation use
 - d) Outdoor storage

3. Conditions of Use

- i) **Any fairgrounds associated with Assembly use shall be subject to the following conditions:**
 - a) Camping space associated with fairground use must be in conjunction with an event sponsored by a non-profit cause, organization or society taking place on the lot on which the use is carried out.

4. Density

- i) **Tourist Accommodation**
 - a) Minimum tourist accommodation unit area is 40.0 square metres.
 - b) For "Tourist Accommodation" uses, the maximum of twenty-four (24) tourist accommodation units per 1.0 ha.
 - c) A minimum of 25 per cent of the lot area shall be retained as open space.

- d) Occupancy shall be temporary in nature with a minimum of 50 per cent of the total units limited to a maximum stay of 6 months per visitor for any 12 month period.
 - e) Residential occupancy of up to 50 per cent of the total units is permitted where:
 - f) A surveyor’s site certificate identifying all tourist accommodation units is provided indicating the location of the proposed residential occupancies.
 - g) At least three of the following uses are in operation on the site:
 - 1) Restaurant
 - 2) Service establishment
 - 3) Office use
 - 4) Retail sales
 - 5) Liquor licensed establishment
 - 6) Outdoor recreation use
- ii) **All permitted uses listed in Section (3), “Conditions of Use”, shall be subject to the following conditions:**
- a) No parking, loading or storage areas shall be located within 1.5 metres of any lot line.
 - b) All outdoor storage use shall be screened from any abutting property zoned under Part 700 Residential Zone in accordance with Section 310.

5. Siting of Buildings and Structures

- i) The minimum setbacks required for buildings and structures shall be as set out in the table below.

Type of Use	Required Setback			
	Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal	4.5m	4.5m	1.75m	4.5m
Accessory	4.5m	1.0m	1.0m	4.5m

6. Height of Structures

The maximum permitted height of principal structures shall be:

- i) At and beyond required side yard setback: 8.0 metres
- ii) At and beyond 7.5 metres from any lot line: 10.0 metres
- iii) At and beyond 12.0 metres from any lot line: 12.0 metres

7. Lot Coverage

- i) The lot coverage of all buildings and structures shall not exceed 50 per cent.

8. **Subdivision Requirements**

- i) The minimum permitted lot area for lands shown in the zoning bylaw layer at <http://imap2.comoxvalleyrd.ca/imapviewer/> is 4.0 hectares.
- ii) **Minimum Lot Area For All Other Lands**
The minimum average lot area permitted shall be 2000 square metres.

End • C-1

902**Commercial One A (C-1A)****1. Principal Uses**

- i) **On any lot:**
 - a) Service establishment
 - b) Retail sale
 - c) Restaurant
 - d) Craft Beverage Processing
 - e) Liquor licensed establishment
 - f) Veterinary establishment
 - g) Automobile service station

2. Accessory Uses

- i) **On any lot:**
 - a) Residential use limited to one dwelling unit.
 - b) Outdoor storage
 - c) Office

3. Conditions of Use

- i) **Automobile service stations shall be subject to the following conditions:**
 - a) Fuel service pumps or pump islands shall be located a minimum of 4.5 metres from any lot line. Canopies over the fuel service pumps or pump islands shall be located within 1.5 metres of any lot line. No canopy is to be longer than 33 per cent of the length of the street boundary of the yard in which it is located, to a maximum of 12.0 metres.
 - b) Automobile service stations shall be subject to the following parking and loading area requirements:
 - 1) Off-street parking, loading areas and ingress and egress points shall be located so as not to interfere with other on-site vehicular and off-site traffic movements abutting the streets.
 - 2) No parking, loading or storage areas shall be located within 1.5 metres of any lot line.
 - c) Automobile service stations shall be subject to the following landscaping requirements:
 - 1) Loading areas, garbage containers and recycling containers shall be screened to a height of at least 2.5 metres by a landscaping screen, a solid decorative fence, or a combination thereof.

Where the automobile service station is situated on a lot having a boundary in common with any abutting property zoned under Part 700 “Residential Zones”, there shall be provided and maintained on and along the full length of such boundary or portion of the boundary, a landscaped area measuring no less

than 3.0 metres in width throughout its length comprised of properly maintained ornamental trees, shrubs, flowers and grass.

- d) One freestanding sign is permitted for each street frontage of any lot used for an automobile service station. The freestanding sign shall be permitted in landscaped areas only. The height of the sign, including support structures, shall not exceed 6.0 metres and the area of any one face shall not exceed 6.5 square metres. A freestanding sign may be illuminate.
- ii) **All other permitted uses shall be subject to the following conditions:**
- a) No parking, loading or storage areas shall be located within 1.5 metres of any lot line.
- b) All outdoor storage shall be screened from any abutting property zoned under Part 700 “Residential Zones”, there shall be provided and maintained on and along the full length of such boundary or portion of the boundary, a landscaped area measuring no less than 3.0 metres in width throughout its length comprised of properly maintained ornamental trees, shrubs, flowers and grass.

4. Siting of Buildings and Structures

- i) The minimum setbacks required for buildings and structures shall be as set out in the tables below.

Type of Use	Required Setback for Principal Uses			
	Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal	4.5m	4.5m	1.75m	4.5m

Type of Use	Required Setback for Accessory Uses			
	Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Accessory (Adjacent to Part 700 zones)	4.5m	4.5m	4.5m	4.5m
Accessory (Adjacent to non - Part 700 zones)	4.5m	1.0m	1.0m	4.5m

2. Height of Structures

- i) The maximum permitted height of principal structures shall be:
- a) At and beyond required side yard setback: 8.0 metres
- b) At and beyond 7.5 metres from any lot line: 10.0 metres
- c) At and beyond 12.0 metres from any lot line: 12.0 metres

7. **Lot Coverage**

- i) The lot coverage of all buildings and structures shall not exceed 50 per cent.

8. **Subdivision Requirements**

- i) The minimum permitted lot area for lands shown in the zoning bylaw layer at <http://imap2.comoxvalleyrd.ca/imapviewer/> is 4.0 hectares.

iii) **Lot Area**

The minimum average lot area permitted shall be 2000 square metres.

End • C-1A

DRAFT

903**Tourist Commercial One (TC-1)****1. Principal Uses**

- i) **On any lot:**
 - a) Campground
 - b) Recreational vehicle (RV) park
 - c) Tourist accommodation
 - d) Recreation facility
 - e) Marina

2. Accessory Uses

- i) **On any lot:**
 - a) Restaurant
 - b) Liquor licensed establishment
 - c) Retail
 - d) Office
 - e) Outdoor recreation use
 - f) Wharves and moorage use excluding: permanent or indefinite berthing, and berthing of vessels occupied as a dwelling unit or as tourist accommodation
 - g) Outdoor storage
 - h) Residential use limited to one dwelling unit

3. Conditions of Use

- i) **All Campgrounds and recreational vehicle park uses, shall be subject to the following conditions:**
 - a) Every camping space shall have a minimum area of 110.0 square metres.
 - b) No camping space shall be located within 3.0 metres of an internal access road.
 - c) Washrooms shall be provided for in accordance with Ministry of Health requirements.
 - d) A minimum of one container for every two camping spaces shall be provided for purposes of garbage disposal or a garbage collection facility of suitable capacity. Each container must be durable, insect-tight, water-tight, and rodent proof.
 - e) Occupancy shall be temporary in nature. At least 50 per cent of the camping space shall be limited to a maximum stay of 6 months in a 12 month period. The relocation of RVs within the campground does not constitute the start of a new stay.
 - f) The relocation of RV's to other RV sites within the campground does not constitute the start of a new stay.

- g) No recreational vehicle site shall be used for the exclusive use of one individual, family, group or recreational vehicle, but rather there must be turnover consistent with a commercial short-term temporary accommodation operation.
- h) Recreational vehicles located within the campground shall be licensed for highway use with a valid licence deal;
- i) Structural additions to recreational vehicles in campgrounds are not permitted.

4. Density

i) **Tourist Accommodation**

- a) Minimum tourist accommodation unit area is 40.0 square metres.
- b) For “Tourist Accommodation” uses, the maximum number of twenty-four (24) tourist accommodation units per hectare.
- c) A minimum of 40 per cent of the lot area shall be retained as open space.
- d) Occupancy of tourist accommodation units shall be limited to temporary occupancy. At least 50 per cent of the tourist accommodation units shall be limited to a maximum stay of 6 months in a 12 month period.
- e) Residential occupancy of up to 50 per cent of the total units is permitted where:
 - 1) A surveyor’s site certificate identifying all campsites and other tourist accommodation units is provided indicating the location of the proposed residential occupancies.
 - 2) At least three of the following uses are in operation on the site:
 - i) Campground
 - ii) Hotel
 - iii) Restaurant
 - iv) Liquor Licensed establishment
 - v) Marina
 - vi) Wharves and moorage
 - vii) Outdoor recreation use

5. Siting of Buildings and Structures

- i) The minimum setbacks required for buildings and structures shall be as set out in the table below.

Type of Use	Required Setback			
	Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal	4.5m	4.5m	3.5m	4.5m
Accessory	4.5m	1.0m	3.5m	4.5m

6. Height of Structures

- i) The maximum permitted height of principal structures shall be:

- a) At and beyond required side yard setback: 8.0 metres
- b) At and beyond 7.5 metres from any lot line: 10.0 metres
- c) At and beyond 12.0 metres from any lot line: 12.0 metres

7. **Subdivision Requirements**

- i) The minimum permitted lot area for lands shown in the zoning bylaw layer at <http://imap2.comoxvalleyrd.ca/imapviewer/> is 4.0 hectares.
- ii) **Minimum Lot Area For All Other Lands**
The minimum average lot area permitted shall be 4000 square metres.

End • TC-1

904**Tourist Commercial Two (TC-2)****1. Principal Uses**

- i) **On any lot:**
 - a) Campground
 - b) Recreational vehicle (RV) park
 - c) Tourist accommodation
 - d) Recreation facility
- ii) **On any lot within the ALR where approved by the Provincial Agricultural Land Commission:**
 - a) Campgrounds (excluding RV parks)

2. Accessory Uses

- i) **On any lot:**
 - a) Restaurants
 - b) Liquor licensed establishments
 - c) Retail
 - d) Office
 - e) Outdoor recreation use
 - f) Marinas
 - g) Residential use limited to one dwelling unit

3. Conditions of Use

- i) **All Campgrounds shall be subject to the following conditions:**
 - a) Every camping space shall have a minimum area of 110.0 square metres.
 - b) No camping space shall be located within 3.0 metres of an internal access road.
 - c) A minimum of one container for every two camping spaces shall be provided for garbage disposal or a centralized garbage collection facility of suitable capacity. Each container must be durable, insect-tight, water-tight, and rodent proof
 - d) Occupancy shall be temporary in nature. At least 50 per cent of the camping space shall be limited to a maximum stay of 6 months in a 12 month period. The relocation of RVs within the campground does not constitute the start of a new stay.

4. Density

- i) **Tourist Accommodation**
 - a) Minimum tourist accommodation unit area is 40.0 square metres.
 - b) For “Tourist Accommodation” uses, the maximum number of twenty-four (24) tourist accommodation units per hectare.

- c) A minimum of 50 per cent of the lot area shall be retained as open space.
- d) Occupancy of tourist accommodation units shall be limited to temporary occupancy. At least 50 per cent of the tourist accommodation units shall be limited to a maximum stay of 6 months in a 12 month period.
- e) Residential occupancy of up to 50 per cent of the total units is permitted where:
 - 1) A surveyor’s site certificate identifying all campsites and other tourist accommodation units is provided indicating the location of the proposed residential occupancies.
 - 2) At least three of the following uses are in operation on the site:
 - i) Campground
 - ii) Hotel
 - iii) Restaurant
 - iv) Liquor Licensed establishment
 - v) Marina
 - vi) Wharves and moorage
 - vii) Outdoor recreation use

5. Siting and Height of Buildings and Structures

- i) The setbacks required for buildings and structures within the Tourist Commercial Two zone shall be as set out in the table below.

Type of Use	Required Setback			
	Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal	7.5m	7.5m	3.5m	7.5m
Accessory	7.5m	1.0m	3.5m	7.5m

6. Height of Structures

- i) The maximum permitted height of principal structures shall be:
 - a) At required side yard setback: 8.0 metres
 - b) At 7.5 metres from any lot line: 10.0 metres
 - c) At 12.0 metres from any lot line: 12.0 metres

7. Lot Coverage

- i) The maximum permitted coverage of all buildings and structures shall not exceed 25 per cent of the site area.

8. Subdivision Requirements

- i) The minimum permitted lot area for lands shown in the zoning bylaw layer at <http://imap2.comoxvalleyrd.ca/imapviewer/> is 4.0 hectares.
- ii) **Minimum Lot Area For All Other Lands**
The minimum average lot area permitted shall be 4000 square metres

End • TC-2

905**Rural Recreation One (RR-1)****1. Principal Uses**

- i) **On any lot:**
 - a) Golf course
 - b) Park
- ii) **On any lot within the Agricultural Land Reserve:**
 - a) Residential use limited to one dwelling unit
 - b) Agricultural use

2. Conditions of Use

- a) No parking, loading or storage areas shall be located in any required yards.
- b) Buildings and structures shall be screened and buffered from adjacent properties through maintenance of natural vegetation.

4. Floor Area Requirements

- i) The maximum combined gross floor area of all accessory buildings shall not exceed 200 square metres.

5. Siting of Buildings and Structures

- i) The setbacks required for buildings and structures within the Rural Recreation One zone shall be as set out in the table below.

Type of Use	Height	Required Setback			
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal	10.0m	30.0m	30.0m	30.0m	30.0m
Accessory	4.5m or less	30.0m	30.0m	30.0m	30.0m
Accessory	6.0m - 4.6m	30.0m	30.0m	30.0m	30.0m

6. Lot Coverage

- i) The maximum lot coverage of all buildings and structures, excluding greenhouses for agricultural uses, shall not exceed 5 per cent.

7. Subdivision Requirements

- i) **Minimum Lot Area:**
 - a) The minimum lot area in the Rural Recreation One (RR-1) zone shall be 50.0 hectares. Existing lots that do not conform to the lot area requirements of this zone may be used for the permitted uses within this zone, subject to compliance with site area requirements for each use.

End • RR-1

906**Industrial Light (IL)****1. Principal Uses**

- i) **On any lot:**
 - a) Light industrial
 - b) Wood processing
 - c) General contractor services and storage yard
 - d) Retail and wholesale sales
 - e) Industrial equipment, sales and service
 - f) Automobile body shop
 - g) Plant nursery and greenhouse
 - h) Veterinary establishment
 - i) Water and beverage bottling only at the properties legally described as Lot A, District Lot 50, Newcastle District, Plan 49534 (8430 Berray Road) and That Part of Lot 2, District Lot 50, Newcastle District, Plan 9853 Lying To The West of Berray Road As Said (8445 Berray Road)

2. Accessory Uses

- i) **On any lot:**
 - a) Residential use limited to one dwelling unit
 - b) Offices
 - c) Warehousing
 - d) Outdoor storage
 - e) Pet crematorium

3. Conditions of Use

- i) **All uses listed in Section (1), "Principal Uses", shall be subject to the following conditions:**
 - a) No parking, loading or storage areas shall be located within 1.5 metres to any lot line.
 - b) All outdoor storage or supply yards shall be screened from any abutting property zoned under Part 700 Residential Zones in accordance with Section 310.
 - c) Retail sale floor area shall not exceed 1000 square metres on any lot.
 - d) Permitted F.A.R. = 0.5
For each 10 per cent increase in "Open Space", above the 25 per cent required for the zone, to a maximum of 60 per cent, maximum F.A.R. is increased by 0.05.
 - e) A minimum of 25 per cent of the lot area shall be retained as open space.

4. Siting and Height of Buildings and Structures

The maximum height of principal buildings is 10.0 metres and the maximum height of accessory buildings is 8.0 metres.

- i) The minimum setbacks required for buildings and structures shall be as set out in the table below.

Type of Use	Height of Structure	Required Setback			
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal		7.5m	7.5m	7.5m	7.5m
Accessory	4.5m or less	7.5m	7.5m	7.5m	7.5m
Accessory	8.0m - 4.6m	7.5m	7.5m	7.5m	7.5m

5. Lot coverage

- i) The lot coverage of all buildings and structures shall not exceed 50 per cent

6. Subdivision Requirements

- i) The minimum permitted lot area for lands shown in the zoning bylaw layer at <http://imap2.comoxvalleyrd.ca/imapviewer/> is 4.0 hectares.

ii) **Minimum Lot Area For All Other Lands**

- a) The minimum lot area permitted shall be:
- 1) When connected to community water and sewer: 2000 square metres
 - 2) When connected to either community water or sewer: 4000 square metres
 - 3) When serviced by well and approved septic disposal 1.0 hectare

End • IL

907**Industrial Heavy (IH)****1. Principal Uses**

- i) **On any lot:**
 - a) Heavy industrial use
 - b) Light industrial use
 - c) Log handling and storage facility
 - d) Processing of sand and gravel
 - e) General contractor services and storage yard

2. Accessory Use

- i) **On any lot:**
 - a) Retail and wholesale sales
 - b) Offices
 - c) Residential use limited to one dwelling unit
 - d) Industrial equipment maintenance and repair
 - e) Warehousing
 - f) Storage and sale of aggregate material and products

3. Conditions of Use

- i) All sawmills or portable sawmills shall be subject to the following conditions:
 - a) Minimum yard setback along all lot lines of 30.0 metres. Uses shall be screened and buffered from adjacent properties through maintenance of natural vegetation of not less than 2.0 metres in height. Uses abutting an area zoned under Part 700 Residential Zones shall be screened and buffered from adjacent properties through the use of fencing, berming or evergreen vegetation being not less than 1.5 in height. Solid fencing may be as high as 3.0 metres.
- ii) All gravel, sand, mineral or peat processing operations shall be subject to the following conditions:
 - a) A minimum setback of 30.0 metres from any lot line abutting a lot zoned under Part 700 Residential Zones.
 - b) No loading or storage areas shall be located in any required yards.
 - c) Uses shall be screened and buffered from adjacent properties through maintenance of natural vegetation of not less than 2.0 metres in height.
 - d) Uses abutting an area zoned under Part 700 Residential Zones shall be screened and buffered from adjacent properties through the use of fencing, berming or evergreen vegetation being not less than 2.0 metres in height. Solid fencing may be as high as 3.0 metres.
 - e) A single sign not exceeding 1.0 square metre in area may be located on the lot on which the use is carried out.
- iii) All general contractors services and storage yard operations shall be subject to the following conditions:

- a) No storage yard, equipment service areas or any other outdoor storage used in conjunction with a principal or accessory use shall be located within 15.0 metres of any lot line abutting a lot zoned under Part 700 Residential zones.
- b) No storage yard, equipment service areas or any other outdoor storage used in conjunction with a principal or accessory use shall be located within 7.5 metres of any lot line abutting a lot under any other zone.
- c) No parking or loading areas shall be located within 7.5 metres of any lot line and all such areas shall be incorporated within a landscaped area.
- d) All storage yards, outdoor storage, or outdoor equipment maintenance and repair areas used in conjunction with a principal or accessory use must be screened from any abutting property zoned under Part 700 Residential Zones.
- e) Screening details for storage yards, outdoor storage, or outdoor equipment maintenance and repair areas are as follows:
 - 1) Along any lot line, which immediately joins a highway, the lot shall be fully screened from view with an evergreen hedge not less than 2.4 metres in height and not less than 1.0 metre in width.
 - 2) The hedge shall be included within a fully landscaped area of not less than 7.5 metres in width along the inside of the lot lines, or as prescribed by the development permit. Landscaping shall be incorporated within all setback areas.
 - 3) Solid wood fencing or evergreen hedging, not less than 2.0 metres in height, shall be erected along portions of lot lines between all storage yards, outdoor storage or equipment maintenance areas and lots used for residential purposes. Solid fencing may be as high as 3.0 metres.
 - 4) All screening, including hedging and fencing shall be well maintained.
 - 5) If a property is adjacent to the Agricultural Land Reserve boundary, a fence and landscaped buffer area of at least 8.0 metres in width shall be provided along the inside of the lot line.
- iv) Except where otherwise specified, all lots shall be screened from any abutting lots by screening that is not less than 2.0 metres in height.
- v) No loading or storage areas shall be located in any required yards.

4. Siting and Height of Buildings and Structures

The maximum height of principal buildings is 12.0 metres and the maximum height of accessory buildings is 8.0 metres.

- i) The minimum setbacks required for buildings and structures shall be as set out in the table below.

Type of Use	Heights	Required Setback			
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal	12.0m	7.5m	7.5m	7.5m	7.5m
Accessory	4.5m or less	7.5m	7.5m	7.5m	7.5m
Accessory	8.0m - 4.6m	7.5m	7.5m	7.5m	7.5m

5. **Lot Coverage**

- i) The lot coverage for all buildings and structures shall not exceed 50 per cent.
- ii) The maximum site coverage shall not exceed 75 per cent.

6. **Subdivision Requirements**

- i) The minimum permitted lot area for lands shown in the zoning bylaw layer at <http://imap2.comoxvalleyrd.ca/imapviewer/> is 4.0 hectares.
- ii) Minimum Lot Area For All Other Lands: 2.0 hectares

End • IH

908**Industrial Marine (IM)****1. Principal Uses**

- i) **On any lot:**
 - a) Boat building and repairs and service and sales
 - b) Seafood processing and sales
 - c) Marina
 - d) Barge facility
 - e) Waterfront freight handling facility
 - f) Log handling and storage facility
 - g) Storage and works yard and warehousing
 - h) Offices

2. Accessory uses

- i) **On any lot:**
 - a) Residential use limited to one dwelling unit

3. Conditions of Use

- i) No parking, loading or storage areas shall be located within 1.5 metres of any property line except in the case when the area abuts or is within a water area, in which case no minimum applies.
- ii) Boat building, repairs, service and sales shall be subject to the following conditions:
 - a) No loading or storage areas shall be located within 15.0 metres of any property line abutting a lot zoned under Part 700 Residential Zones.
- iii) Barge or waterfront freight handling facilities shall be subject to the following conditions:
 - a) No loading or storage areas shall be located within 15.0 metres of any property line abutting a lot zoned under Part 700 Residential Zones.
- iv) Storage yards and warehouse facilities shall be subject to the following conditions:
 - b) No loading or storage areas shall be located within 15.0 metres of any property line abutting a lot zoned under Part 700 Residential Zones.
- v) All properties shall be screened from any abutting properties by screening not less than 2.0 metres in height.

4. Siting of Buildings and Structures

- i) The setbacks required for buildings and structures within the Industrial Marine zone shall be as set out in the table below.

Type of Use	Heights	Required Setback			
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal	12.0m	7.5m	7.5m	7.5m	7.5m
Accessory	4.5m or less	7.5m	7.5m	7.5m	7.5m
Accessory	7.0m - 4.6m	7.5m	7.5m	7.5m	7.5m

5. Lot Coverage

- i) The maximum lot coverage for all buildings and structures shall not exceed 50 per cent.

6. Subdivision Requirements

- i) The minimum permitted lot area for lands shown in the zoning bylaw layer at <http://imap2.comoxvalleyrd.ca/imapviewer/> is 4.0 hectares.

ii) Minimum Lot Area

- i) The minimum lot area permitted shall be:
- | | |
|---|--------------------|
| 1) When connected to community water and sewer: | 2000 square metres |
| 2) When connected to either community water or sewer: | 4000 square metres |
| 3) When serviced by well and approved septic disposal | 1 hectare |

End • IM

909**Seafood Processing One (SP-1)**

1. **Principal Uses**
 - i) **On any lot:**
 - a) Seafood processing and sales
2. **Accessory Uses**
 - i) **On any lot:**
 - a) Residential use limited to one dwelling unit
3. **Conditions of Use**
 - i) Any buildings or structure located on the foreshore or floating on the surface of water shall have a maximum height of 4.5 metres.
 - ii) Any buildings or structure located in upland areas shall have a maximum height of 10.0 metres.
4. **Lot Area**
 - i) No minimum lot area shall apply.
5. **Setbacks**
 - i) All uses in upland locations shall be setback a minimum of 7.5 metres from all property lines or boundaries of lease areas except that there shall be no required setback from property or lease lines abutting the sea.

End SP-1

910 Seafood Processing Aquaculture Facility One (SPAF-1)

1. Principal Uses

- i) **On any lot:**
 - a) Seafood processing
 - b) Seafood retail sales
 - c) Upland Invertebrate hatchery

2. Accessory Uses

- i) **On any lot:**
 - a) Outdoor storage
 - b) Offices
 - c) Residential use limited to one dwelling unit

3. Conditions of Use

- i) All uses listed in Section (1), “Principal Uses”, and Section (2), “Accessory Uses”, shall be subject to the following conditions:
 - a) Any building and structure located in the upland area shall have a maximum height of 10.0 metres.
 - b) Seafood retail sales floor space shall not exceed 150 square metres.
 - c) No parking or loading areas shall be located within 1.5 metres (4.9 feet) of any property line abutting the highway.
 - d) One freestanding sign shall be permitted for each street frontage of the business. The freestanding sign shall be permitted in landscaped areas only, located on the same lot as the facility. The height of the sign, including support structures, shall not exceed 6.0 metres and the area of any one face shall not exceed 6.5 square metres. A freestanding sign may be illuminated.
 - e) One fascia sign shall be permitted for each development. The maximum area of fascia signs shall not exceed 6.0 square metres. Facia signs may be illuminated and should be integrated into the design of the building and may not extend above the top wall of a building. Billboards and roof signs are not permitted.
 - f) Any upland use associated with a permitted foreshore use shall satisfy the requirements of Bylaw No. 2782, being the “Floodplain Management Bylaw, 2005”.
 - g) All activities shall be in compliance with Bylaw No. 102, being the “Electoral Areas Noise Control Regulations Bylaw No. 102, 2010”.

- h) Seafood processing aquaculture facilities shall be subject to the following landscaping requirements:
 - 1) Except for points of ingress and egress, landscaping is required for the screening and enhancement of every seafood processing aquaculture facility. The landscaping shall be maintained with native, salt-tolerate plant species or other suitable landscaping of a type and location to the satisfaction of any one of the Comox Valley Regional District officers.
 - 2) An enhanced landscape buffer adjacent to the old island 19A highway corridor.
- j) Screening details for outdoor storage areas:
 - 1) All outdoor storage areas used in conjunction with Section (1), “Principal Uses”, and Section (2), “Accessory Uses”, must be screened from the highway.
 - 2) Fencing or other suitable hedging, not less than 2.0 metres in height shall be used to screen all outdoor storage areas. Solid fencing may be as high as 3.0 metres.
 - 3) Loading areas, garbage containers and recycling containers shall be screened to a height of at least 2.5 metres by a landscaping screen, a solid decorative fence, or a combination thereof.
 - 4) All outdoor storage shall be screened from any highway.
 - 5) All screening, including hedging and fencing shall be well maintained.

4. Lot Area

- i) No minimum lot area shall apply.

5. Setbacks

- i) All uses in upland locations shall be setback a minimum of 7.5 metres from all property lines or boundaries of lease areas except that there shall be no required setback from the property or lease lines abutting the sea.

End • SPAF-1

911**Commercial Agriculture (CA)****1. Principal Uses**

- i) **On any lot:**
 - a) Plant nursery and greenhouse
 - b) Agricultural use
 - c) Retail sales of farm and feed supplies
 - d) Retail sales of agricultural products
 - e) Abattoirs

2. Accessory Uses

- i) **On any lot:**
 - a) Outdoor storage
 - b) Residential use limited to one dwelling unit

3. Conditions of Use

- i) No areas used for outdoor storage, display, parking or loading shall be located within 3.5 metres of any lot line except where the abutting or adjacent lot is zoned any Commercial or Industrial zone, in which case a setback of 1.5 metres is permitted.
- ii) Plant nursery and greenhouse and retail/sales establishments shall be landscaped to a minimum depth of 3.5 metres with natural vegetation consisting of a dense combination of shrubs, evergreen trees and plants to create a solid screen not less than 1.8 metres in height where a rear or side yard abuts a lot zoned under Part 700 Residential Zones.

4. Siting of Buildings and Structures

The maximum height of a principal buildings is 10.0 metres and the maximum height of accessory building is 8.0 metres.

- i) The minimum setbacks required for buildings and structures shall be as set out in the table below.

Type of Use	Height	Required Setback				
		Front Yard	Rear Yard	Side Yard		Side Yard Abutting Road
				Front Lot Line <31m	Front Lot Line >31m	
Principal	10.0m	4.5m	4.5m	1.75m	3.5m	4.5m
Accessory	4.5m or less	4.5m	1.0m	1.0m	1.0m	4.5m
Accessory	8.0m - 4.6m	4.5m	4.5m	1.75m	3.5m	4.5m

5. Lot Coverage:

- i) The maximum permitted coverage of all buildings and structures shall not exceed 50 per cent of the site area excluding greenhouses used in plant nurseries or for agricultural uses.

6. **Subdivision Requirements:**

- i) Minimum lot area: 4000 square metres

DRAFT

End • CA

912

Saratoga - Commercial Industrial (S-CI)**1. Principal Use****On any lot:**

- i) Retail and wholesale sales;
- ii) Service establishments;
- iii) Offices;
- iv) Restaurants;
- v) Licensed establishments;
- vi) Recreation facilities;
- vii) Automobile service station, excluding washing of vehicles;
- viii) Veterinary clinics, animal hospitals;
- ix) Light industrial;
- x) General contractor services and storage yard;
- xi) Industrial equipment, sales and service;
- xii) Boat building, repairs, service and sales.

2. Accessory Uses**On any lot:**

- i) Outdoor storage;
- ii) Mini-storage
- iii) Residential use;

3. Conditions of Use

- i) All permitted uses listed in Section (1), “**Principal Uses**” and Section (2), “**Accessory Uses**”, excluding residential use, shall be subject to the following conditions:
 - a) Landscaped areas with the following characteristics shall be provided:
 - i) Landscaped areas shall be planted and maintained with trees, shrubs and grasses;
 - ii) Where a property abuts a road right-of-way, a landscaped area at least 3.0 metres in width running the length of the right-of-way, except for points of ingress and egress, shall be provided;
 - iii) Where a property abuts the Island Highway or a frontage road to the Island Highway, a landscaped area at least 4.5 metres in width running the length of the right-of-way, except for points of ingress and egress, shall be provided;
 - iv) Additional or specific landscaping shall be in accordance with the conditions of the required Development Permit.
 - b) No parking, loading or storage areas shall be located within 1.5 metres of any property line.
 - c) All outdoor storage, supply yards, and outdoor equipment maintenance and repair areas shall be screened. Screening not less than 2.0 metres in height, and on landscaped areas not less than 7.5 metres in width, shall consist of solid wood

- fencing, evergreen hedging or an earth berm. All screening, including fencing and hedging, shall be well maintained.
- d) Floor Area Ratio (F.A.R.) (see also Part 2, Interpretation) shall be defined as: “The gross floor area of all buildings on a lot divided by the gross area of the subject lot.”
Permitted F.A.R. = 0.5
For each 10 per cent increase in “Open Space”, to a maximum of 60 per cent, F.A.R. is increased by 0.05.
- e) A minimum of 25 per cent of the lot area shall be retained as open space.
- ii) “**Automobile Service Station**” use, shall be subject to the following conditions:
- a) Fuel service pumps or pump islands shall be located a minimum of 4.5 metres from any property line. No canopy is to be longer than 33 per cent of the length of the street boundary of the yard in which it is located, to a maximum of 12.0 metres.
- b) Automobile service stations shall be subject to the following parking requirements:
- 1) Off-street parking, loading areas and ingress and egress points shall be located so as not to interfere with other on-site vehicular and off-site traffic movements abutting the streets;
 - 2) No parking, loading or storage areas shall be located within 1.5 metres of any property line.
- c) Automobile service stations shall be subject to the following landscaping requirements:
- 1) All landscaping should constitute a minimum of 5 per cent of the site;
 - 2) Loading areas, garbage containers and recycling containers shall be screened to a height of at least 2.5 metres;
 - 3) Where the automobile service station is situated on a lot having a boundary in common with any abutting property zoned under Part 700 “Residential Zones”, there shall be provided and maintained on and along the full length of such boundary or portion of the boundary, a landscaped area measuring no less than 3.0 metres in width throughout its length and used for the purpose only of cultivating therein ornamental trees, shrubs, flowers and grass.
- iii) Each property shall be allowed one freestanding sign for each street frontage of the business to a maximum of two freestanding signs. The freestanding sign shall be permitted in landscaped areas only. The height of the sign, including support structures, shall not exceed 6.0 metres and the area of any one face shall not exceed 6.5 square metres. A freestanding sign may be illuminated.
- iv) One fascia sign shall be allowed on each building. The maximum area of fascia signs shall be 6 square metres. Fascia signs may be illuminated.

4. Density

- i) Residential use is limited to one dwelling unit.

5. Siting of Buildings, Structures and Uses

- i) The setbacks required for buildings and structures within the Saratoga Commercial-Industrial zone (S CI) zone shall be as set out in the table below.

Type of Use	Required Setback			
	Front yard	Rear yard	Side yard	Side yard abutting road
Principal	7.5 m	7.5 m	4.5 m	7.5 m
Accessory	7.5 m	7.5 m	4.5 m	7.5 m

- ii) Despite 5 i) above, pump islands and canopies associated with an automobile service station may be setback as follows:

Type of Use	Required Setback			
	Front yard	Rear yard	Side yard	Side yard abutting road
Pump island	4.5 m	4.5 m	4.5 m	4.5 m
Canopies	1.5 m	1.5 m	1.5 m	4.5 m

6. Height of Structures

The maximum permitted height of principal structures shall be:

- i) At 12.0 metres from any lot line: 12.0 metres
 ii) At 7.5 metres from any lot line: 10.0 metres
 iii) In an area less than 7.5 metres from any lot line: 8.0 metres

7. Lot Coverage

- i) The maximum lot coverage of all buildings and structures shall not exceed 50 per cent of the lot area.

8. Subdivision Requirements

- i) Minimum lot area: 2.0 hectares.
 If connected to community water, minimum lot area: 0.4 hectare

End • S C-I

913**Community Waste Management (CWM)****1. Principal Use****i) On any lot:**

- a) Composting and composting facility as defined by, and carried out in compliance with, the *Organic Matter Recycling Regulation*.
- b) Refuse disposal site.

2. Accessory Uses**i) On any lot:**

- a) Residential use
- b) Accessory buildings

3. Conditions of Use**i) All refuse disposal sites shall be subject to the following conditions:**

- a) Minimum yard setback along all property lines of 30.0 metres.
- b) Uses shall be screened and buffered from adjacent properties through the maintenance of natural vegetation where of sufficient height and opacity to visually obscure or shield the use, or through the use compact deer-proof hedging or solid fencing.

4. Density**i) Residential use is limited to:**

- a) **On any lot:** One single detached dwelling.

5. Siting of Buildings and Structures

- i) The distance between the external boundary of a composting operation and the natural boundary of a watercourse such as a river, stream, marsh, or estuary must not be less than 100.0 metres.
- ii) The distance between the external boundary of a composting operation and the boundary of a community watershed must not be less than 200.0 metres.
- iii) The distance between the external boundary of a composting operation and the property boundary must not be less than 50.0 metres of which the 15.0 metres closest to the property boundary must be reserved for natural or landscaped screening (berms or vegetative screens).
- iv) The setbacks required for buildings and structures not directly involved in refuse disposal or composting operation activities, but which are within the Community Facility zone, shall be as set out in the table below.

Type of Use	Height	Required Setback			
		Front Yard	Rear yard	Side yard	Side yard abutting road
Principal	12.0m	See sections (i) to (iv) above			
Accessory	4.5m-or less	7.5m	7.5m	7.5m	7.5m
Accessory	6.0m-4.6m	7.5m	7.5m	7.5m	7.5m

6. **LOT COVERAGE**

- i) The maximum lot coverage of all buildings and structures shall not exceed 35% of the total lot area.

7. **SUBDIVISION REQUIREMENTS**

Lot Area

- i) The minimum lot area permitted shall be 8.0 hectares.

End • CWM

PART 1000**ASSEMBLY ZONE****1001****Assembly (A-1)****1. Principal Uses**

- i) **On any lot:**
 - a) Assembly use
 - b) Institutional use

2. Accessory Uses

- i) **On any lot:**
 - a) Residential dwelling unit (limited to one)
 - b) Special events

3. Siting of Principal Buildings and Structures

- i) The setbacks required for buildings and structures within the Assembly zone shall be as set out in the table below.

Type of Use	Heights	Required Setback				
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road	
					Frontage <31m	Frontage >31m
Principal	12.0m	4.5m	4.5m	1.5m	4.5m	7.5m
Accessory	10.0m or less	4.5m	4.5m	4.5m	4.5m	7.5m

4. Accessory Buildings

- i) Accessory buildings shall have a floor area not exceeding 10 per cent of the lot area.

5. Lot Coverage

- i) The maximum lot coverage of all buildings and structures shall not exceed 60 per cent of the total lot area.

6. Minimum lot area and frontage

- i) The minimum permitted lot area for lands shown in the zoning bylaw layer at <http://imap2.comoxvalleyrd.ca/imapviewer/> is 4.0 hectares.
- ii) A lot shall have a minimum area of 325.0 square metres and a minimum frontage of 10 per cent, but in no case less than 12.0 metres.

End • PA

1002**Transportation Utility One (TU-1)****1. PRINCIPAL USES****On any lot:**

- a) Railway;
- b) Railway loading and unloading terminal;
- c) Railway passenger station; and
- d) Transportation and facilities corridor.

2. SITING OF PRINCIPAL BUILDINGS AND STRUCTURES

The setbacks required for buildings and structures within the Transportation Utility One zone shall be as set out in the table below.

Type of Structure	Height of Structure	Required Setback			
		Front yard	Rear yard	Side yard	Side yard abutting road
Principal	10.0m	4.5m	4.5m	3.5m	4.5m
Accessory	6.0m-or less	4.5m	1.5m	3.5m	4.5m

3. LOT COVERAGE

- i) The lot coverage of all buildings and structures shall not exceed 10%.

4. MINIMUM LOT AREA

- i) The minimum permitted lot area for lands shown in the zoning bylaw layer at <http://imap2.comoxvalleyrd.ca/imapviewer/> is 4.0 hectares
- ii) A lot shall have a minimum area of 2.0 hectares.

End • TU-1

PART 1100**COMPREHENSIVE DEVELOPMENT ZONES****1101****Mt. Washington Comprehensive
Development Zone (MTW-CD)**

Note 1) Within the Mt. Washington Comprehensive Development Zone the permitted uses are different for different locations within the zone.

Note 2) The Mt. Washington Comprehensive Development Zone is divided into the following districts: Resort Recreation (RR), Resort Accommodation (RA), Resort Facilities (RF), Resort Facilities West (RFW), Resort Industrial (RI), and Resort Emergency Services (RES).

1. Principal Uses

The following uses are permitted in the following districts:

- i) **In District RR (Resort Recreation)**
 - a) Resort recreation
 - b) Research and teaching facility
 - c) Ski lifts, towers, and support equipment related to activities of sport or leisure such as skiing, snowboarding, biathlon, luge, cycling, and climbing
- ii) **In District RA (Resort Accommodation)**
 - a) Residential use.
 - b) Vacation rental
- iii) **In District RF (Resort Facilities)**
 - a) Hostel
 - b) Tourist accommodation
 - c) Vacation rental
 - d) Lodge
 - e) Liquor licensed establishment
 - f) Craft beverage processing
 - g) Office
 - h) Performing arts facility
 - i) Resort recreation facility
 - j) Residential use
 - k) Resort condominium
 - l) Restaurant
 - m) Retail
 - n) Service establishment
 - o) Trade, convention and conference facilities

- iv) **In District RFW (Resort Facilities West)**
 - a) Resort recreation
 - b) Resort recreation facility
 - c) Performing arts facility
 - d) Trade, convention and conference facility
 - e) Service establishment
 - f) Office
 - g) Restaurant
 - h) Liquor Licensed establishment
 - i) Retail
 - j) Tourist accommodation
 - k) Emergency Services, including accommodation for emergency services personnel
- v) **In District RI (Resort Industrial)**
 - a) Propane distribution centre
 - b) Emergency Services
- vi) **In District RES (Resort Emergency Services)**
 - a) Emergency Services

2. Accessory Uses

The following accessory uses are permitted within the Mt. Washington Comprehensive Development Zone:

- i) **On any lot:**
 - a) Storage and works yards
 - b) Parking
- ii) **In District RA (Resort Accommodation)**
 - a) Bed and breakfast
 - b) Secondary suite
- iii) **In District RES (Resort Emergency Services)**
 - a) Accommodation for emergency service personnel

3. Density

The following densities are permitted in the following zones.

- i) **In District RA (Resort Accommodation)**
 - a) Sub-District RA-1
10 units per hectare average, to a maximum of 150 units.
 - b) Sub-District RA-2
20 units per hectare maximum.

- c) Sub-District RA-3
25 units per hectare average, to a maximum of 164 units.
 - d) Sub-District RA-4
40 units per hectare average, to a maximum of 424 units.
 - e) Sub-District RA-5
55 units per hectare average, to a maximum of 938 units.
- ii) **In District RF (Resort Facilities)**
- a) Floor Area Ratio (F.A.R.) is defined as (see Part 200, Interpretation): “The gross floor area of all buildings on a lot divided by the gross area of subject lot.”
Permitted Floor Area Ratio shall not exceed 2.2.
 - b) The lot coverage of all buildings and structures may not exceed 55 per cent.

4. Accommodation Units

- i) To calculate unit density and to ensure Comfortable Carrying Capacity on Mt. Washington the following table shall be used for the conversion of beds to units.

Type of Accommodation Unit	No. of Beds Equivalent to 1 Unit
Hotel Room, Lodge Room, or Hostel Room	2
Condominium	4
Resort Condominium	4
Single Detached Dwelling (floor area <232m ²)	6
Single Detached Dwelling (floor area > 232m ²)	10
Secondary Suite	2
Recreational Vehicle	2

5. Siting and heights of Buildings and Structures

- i) Except where otherwise specified in this bylaw, no building or structure shall be located within:
 - a) 3.0 metres of a front lot line.
 - b) 1.75 metres of a rear lot line.
 - c) 1.75 metres of a side lot line.
- ii) Strata Lots 1 through 181 of Phase 1, 799SP, Blk. 1450, Comox Land District are exempt from the setback requirements identified above in 5) (i) (a) through (c).
- iii) The height of all principal buildings and structures within Sub-District RA-1 shall not exceed 10.0 metres.
- iv) The height of all accessory buildings and structures within Sub-District RA-1 shall not exceed 6.0 metres.”

End • MTW-CD

DRAFT

1102 Kensington Comprehensive Development Zone (K-CD)

This Comprehensive Development Zone is to permit a master planned community comprised of a variety of mixed uses including residential, commercial, institutional, recreational and resort amenities.

General Provisions:

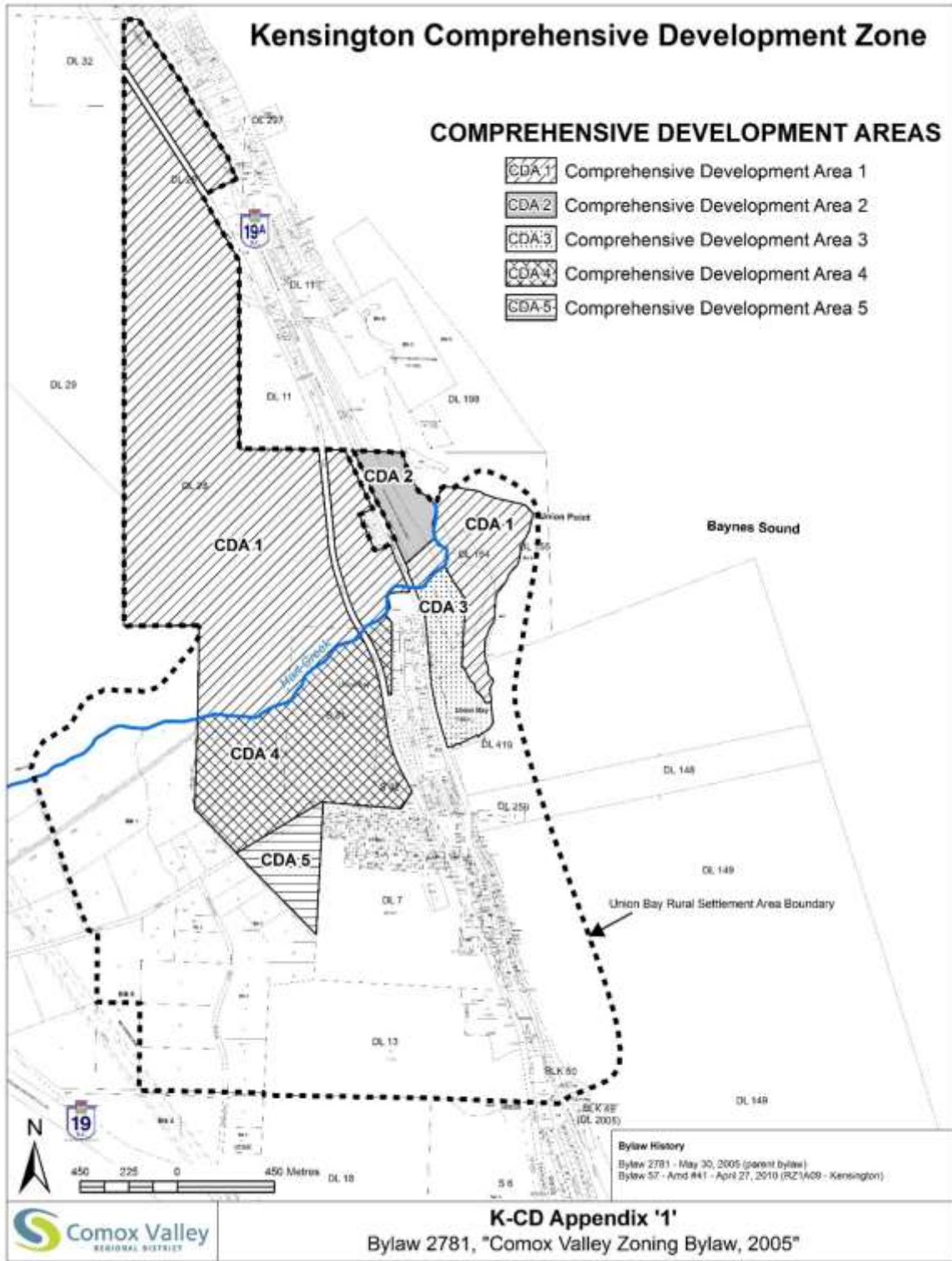
1. The Kensington Comprehensive Development (K-CD) zone is divided into the following Comprehensive Development Areas (CDAs) as shown in the table below:

CDA:	Corresponding Zone:
Comprehensive Development Area 1 (CDA-1)	Golf Course-Residential (GCR)
Comprehensive Development Area 2 (CDA-2)	Residential-Public Facilities (RPF)
Comprehensive Development Area 3 (CDA-3)	Mixed-Use Commercial-Residential (MUCR)
Comprehensive Development Area 4 (CDA-4)	Mixed-Residential (MR)
Comprehensive Development Area 5 (CDA-5)	Mixed-Residential-Institutional (MRI)

2. The Comprehensive Development Areas (CDAs) are shown on the map attached as Appendix “1” to this zone.
3. The required number of off-street parking spaces within the K-CD zone are listed in Appendix “2”.
4. The Kensington comprehensive development shall be carried out in compliance with the master development agreement.
5. For the purposes of interpreting and regulating the K-CD Zone, 34083 Yukon Inc., shall be known as the “Developer.”
6. Within the K-CD zone, the permitted uses are different for each CDA.
7. Maximum number of residential units shall not exceed 2,889 units, including carriage houses, affordable housing and secondary suites. With the addition of density bonusing provisions, the maximum can increase to 3,354.

8. For the purposes of density bonus provisions dispersed though the CDAs of the K-CD, where density bonus provisions are permitted, the maximum number of donated lots for single detached residential shall be 30 lots and the minimum number of donated units for multi-residential shall be 120 units. Density bonus provisions are expressed in appendix “3” to this zone.
9. All lots shall be connected to a community water system and a sanitary sewer system.
10. All buildings and structures related to the real estate sales centre are subject to the following conditions:
 - i) Real estate sales centres are permitted within K-CD, which must be located on the site where real estate sales are occurring
 - ii) The real estate sales centre must be removed or converted to a permitted use when real estate sales are completed for the specific development.
11. Gravel or sand crushing and screening operations shall be subject to the following conditions:
 - a) Gravel, sand and soil crushing and screening are permitted on temporary basis for on-site development only, and all equipment must be removed once the development has been completed
 - b) Completed gravel, sand and soil crushing and screening operation areas and extraction areas must be remediated.
12. Accessory buildings shall not be in the front yard.
13. Notwithstanding specified yard setbacks within the K-CD zone, siting for all buildings and structures shall comply with Part 400, Siting Exceptions, of this bylaw and Bylaw No. 2782.
14. A secondary suite shall only be permitted within a single detached dwelling.
15. The front lot line setback for all structures in all zones (which front onto dedicated public roads) shall be 4.5m as per the requirements of the Ministry of Transportation and Infrastructure. Variances will be considered on a case by case basis and may be applied for in conjunction with a development permit as per Section 920 (2) (a) of the *Local Government Act*.

Appendix 1 **K-CD Areas**



Appendix 2**Off-Street Parking****Required Number of Off-Street Parking Spaces**

The required number of off-street parking spaces for a specific use within the Kensington Comprehensive Development Zone (K-CD) is listed in Table 1 below. When a specific use is not listed, the number of parking spaces required for the most similar use shall apply.

Table 1 - Off-Street Parking Requirements

Land Use Category	Minimum Number of Parking Spaces
Assembly	1 space per 5 seats (minimum of 1 space per 14 m ² gfa)
Carriage house	1 parking space per unit
Congregate Care	1 space per 6 dwelling units, of which 1 must be designed and designated as a handicap accessible space
Fire hall	1 space per 40 m ² gfa
Golf course	2 spaces per golf hole
Health club/spa	1 space per 50 m ² gfa
Interpretive / cultural centre	1 space per 25 m ² gfa
Licensed premises	1 space per 8 seats
Marina	1 space per employee plus 1 space per each 5 boat slips
Medical Services	1 space per 50 m ² gfa
Mixed-Use commercial residential	1 space per 150 m ² gfa (50% parking reduction if vehicles are under the building or behind and screened from view)
Multi-residential	1.25 parking spaces per dwelling
Limited Neighbourhood commercial	1 space per 30 m ² gfa (25% parking reduction if vehicles are under the building or behind and screened)
Office	1 space per 50 m ² gfa
Park (active-sports playing fields)	25 spaces per playing field
Park (passive)	5 spaces per 1.0 hectare
Public	1 space per 30m ² gfa
Real estate sales centre	2 spaces plus 1 per employee
Recreation facilities	1 space per 50 m ² gfa
Restaurant	greater of 1 space per 6 seats or 1 space per 30 m ² gfa
Retail establishments	1 space per 50 m ² gfa
School (elementary)	2 spaces plus 1 space per employee
Secondary suite	1 parking space per unit
Service establishments	1 space per 50 m ² gfa
Single detached dwelling residential	2 parking spaces per dwelling
Tourist Accommodation	1 spaces per room
Tourist Accommodation with conference facilities	.50 spaces per room plus 1 space per 8 seats of conference facility
Townhouse	1.25 parking spaces per dwelling unit (of which 0.25 spaces per unit is assigned for visitors)

(gfa=gross floor area)

Appendix 3**Density Bonus Provisions****Single detached dwelling residential:**

1. When implementing the density bonusing provision the developer will donate, upon request, to Habitat for Humanity or another non-profit agency up to two single detached dwelling lots per year, to a maximum of 30 lots, in Comprehensive Development Area 1 (CDA-1) (that portion located to the west of Highway 19A), Comprehensive Development Area 4 (CDA-4) or Comprehensive Development Area 5 (CDA-5). The donated lots must be dispersed.
2. In return for donating each single detached dwelling lot, two single detached dwelling lots are added to Comprehensive Development Area 2 (CDA-2) or Comprehensive Development Area 3 (CDA-3), up to a maximum of 60 lots.
3. The developer may donate the single detached dwelling lots until the developer has no remaining single detached dwelling lots available to donate from CDA-1 (that portion located to the west of Highway 19A), CDA-4 or CDA-5.
4. The developer will service each donated single detached dwelling lot to the lot line.
5. The donated single detached dwelling lot or lots will be used for the purposes of constructing affordable housing and will be subject to the developer’s building restrictions including a statutory building scheme as required by Comox Valley Regional District bylaws and the master development agreement.
6. Upon transfer of title of each single detached dwelling lot, the developer will not have any remaining obligation, except where set out in Comox Valley Regional District Bylaws and the Master Development Agreement, in respect of the:
 - i) Lot’s use.
 - ii) Price at which the lot may be sold.
 - iii) Whether improvements constructed on the lot comply with any bylaw provisions of the Comox Valley Regional District or other applicable legislation.
7. If within 15 years from the date the Kensington comprehensive development zone is adopted, a total of 30 single detached dwelling lots (up to a maximum of 30 single detached dwelling lots) have not been transferred to Habitat for Humanity or other non-profit agency for any reason, the developer will transfer to the Comox Valley Regional District the balance of the 30 single detached dwelling lots not transferred to a non-profit society.
8. The Regional District will, upon receipt of a registerable discharge of the master development agreement from the developer for the single detached dwelling lot or lots transferred in accordance with this section execute said discharge concurrently with the developer transferring title thereto.
9. In terms satisfactory to the Comox Valley Regional District, a covenant will be registered between the Regional District and Habitat for Humanity or another non-profit agency charging the land of the donated lots to ensure that a housing agreement is detailed to provide for affordable housing in perpetuity.
10. Donating lots and providing additional density under these provisions in no ways fetters the legislative discretion of the Regional District.

Summary: The developer will donate up to 30 single detached dwelling lots and receive up to 60 single detached dwelling lots in additional density.

Multi-Residential

1. The developer will donate, upon request, to Habitat for Humanity or another non-profit agency or such other group or entity approved in writing by the Regional District (or, in default, to the Regional District) one or two multi-residential lots that have a potential for developing a minimum of 120 multi-residential units in Comprehensive Development Area 4 (CDA-4) or Comprehensive Development Area 5 (CDA-5) within five years from the date the Kensington comprehensive development zone is adopted.
2. In return for donating the multi-residential lot(s), the equivalent of three times the donated multi-residential potential is added to Comprehensive Development Area 2 (CDA-2) or Comprehensive Development Area 3 (CDA-3), up to a maximum of 405 multi-residential units. The additional density in CDA-2 and CDA-3 will be between 360 and 405 multi-residential units and can be located in the sole discretion of the developer.
3. The Developer will service the donated multi-residential lot to the property line.
4. The donated multi-residential lot or lots will be used for the purposes of constructing affordable housing and will be subject to the Developer’s building restrictions including a statutory building scheme.
5. Upon transfer of title of the multi-residential lot or lots, the developer will not have any remaining obligation or responsibility, except
6. where set out in Comox Valley Regional District Bylaws or the Master Development Agreement, in respect of the:
 - i) Lot’s use.
 - ii) The price at which the units may be sold.
 - iii) Whether the Regional District enters into a housing agreement with Habitat for Humanity or another non-profit agency.
 - iv) Whether Habitat for Humanity or another non-profit agency elects to or does build the maximum number of units permitted thereon.
 - v) Whether any improvements constructed on the lot comply with any bylaw provisions of the Comox Valley Regional District or other applicable legislation.
7. In terms satisfactory to the Comox Valley Regional District, a covenant will be registered between the Regional District and Habitat for Humanity or another non-profit agency charging the land of the donated lots to ensure that a housing agreement is detailed to provide for affordable housing in perpetuity.
8. The Regional District will, upon receipt of a registrable discharge of the master development agreement from the developer for the single detached dwelling lot or lots transferred in accordance with this section execute said discharge concurrently with the developer transferring title thereto.
9. Donating lots and providing additional density under these provisions in no ways fetters the legislative discretion of the Regional District.

Summary: The developer will donate up to two multi-residential units with a potential to develop 120 multi-residential units and receive between 360 and 405 multi-residential lots in additional density.

End • K-CD

1102.1**Golf Course-Residential (GCR)**

Golf Course-Residential (GCR) is a zone for Comprehensive Development Area 1 (CDA-1), as shown on Appendix “1.” GCR is a zone created to permit golf course use, residential use, tourist accommodations, assembly and limited neighbourhood commercial development.

1. Principal Uses

- i) **On any lot:**
 - a) Golf course
 - b) Interpretive / cultural centre
 - c) Multi-residential
 - d) Limited neighbourhood commercial
 - e) Assembly use
 - f) Institutional use
 - g) Real estate sales centre
 - h) Assisted living
 - i) Community care facility
 - j) Institutional use
 - k) Liquor licensed establishment
 - l) Craft beverage processing
 - m) Recreation facility
 - n) Health club / spa
 - o) Residential (Single detached dwelling)
 - p) Tourist accommodation

2. Accessory Uses

- i) **On any lot:**
 - a) Carriage house
 - b) Bed and breakfast
 - c) Secondary suite
 - d) Home occupation

3. Conditions of Use

- i) Any fairgrounds associated with Assembly use shall be subject to the following conditions:
 - a) Any camping associated with fairground use must be in conjunction with an event sponsored by a non-profit cause, organization or society taking place on the lot on which the use is carried out.

4. Permitted Density**4.1 Single Detached Residential**

- i) Maximum of fifteen (15) residential units per 1.0 ha.

One carriage house or secondary suite to a maximum floor area of 90 square metres is permitted per single detached dwelling lot as per Section 313, except that the siting for a carriage house shall be in accordance with section 5(i) of this part.

4.2 Multi-Residential

- i) Maximum of forty (40) residential units per 1.0 ha.

4.3 Non-Residential

4.3.1 Limited Neighbourhood Commercial

- i) Maximum floor area shall not exceed a total combined floor area of 3,251.5 square metres, with no single building to exceed 929 square metres.

4.3.2 Golf Course – Excluding Maintenance Facilities

- i) Maximum floor area shall not exceed a total combined floor area of 3,716 square metres.

4.3.3 Real Estate Sales Centre

- i) The total combined floor area of all real estate centres within the GCR zone shall not exceed 464.5 square metres.

5. Sustainability Requirements

- i) Pursuant to Section 3 above, the multi-residential density provision requires the Developer to incorporate the following into the project: building design incorporating LEED™ certification, on-site storm water detention, passive solar building orientation or similar types of sustainability initiatives.

6. Siting and Height of Buildings and Structures

The setbacks required for buildings and structures within the GCR zone shall be as set out in the tables below:

- i) Single Detached Dwelling Setbacks and Height:

Type of Structure	Height	Required Setback			
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal	2-storey maximum [11.0m]	4.5m	4.5m	1.5m	4.5m
Carriage House	2-storey maximum [8.0m]	4.5m	1.5m	1.5m	4.5m
Accessory	4.5m	4.5m	1.5m	1.5m	4.5m

ii) Multi-Residential Setbacks and Height:

Type of Structure	Height	Required Setback			
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal	3-storey maximum 13.7m	4.5m	3.0m	4.5m	4.5m
Accessory	4.5m	4.5m	1.5m	4.5 m	4.5m

iii) Non-Residential Buildings Setbacks and Height:

Type of Structure	Height	Required Setback			
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal	3-storey maximum	4.5m	1.5m	3.0m	4.5m
Accessory	4.5m	4.5m	1.5m	3.0m	4.5m

7. Lot Coverage

The maximum lot coverage for all buildings and structures shall not exceed the following:

- i) The maximum lot coverage for all single detached dwellings and structures is 40 per cent, 35 per cent if single detached dwellings and structures are greater than 278.7square metres.
- ii) The maximum lot coverage for all multi-residential dwellings and structures is 60 per cent.
- iii) The maximum lot coverage for all non-residential buildings and structures is 60 per cent.

8. Subdivision Requirements

- i) The minimum lot area for a single detached dwelling shall be 400 square metres subject to connection to a community water system and a community sewer system.

End • GCR

1102.2**Residential Public Facilities (RPF)**

Residential Public Facilities (RPF) is a zone for Comprehensive Development Area 2 (CDA-2), as shown on Appendix "1." RPF is a zone created to permit residential use, recreation facilities and assembly uses.

1. Principal Uses**i) On any lot:**

- a) Multi-residential
- b) Assembly use
- c) Institutional use
- d) Golf course
- e) Real estate sales centre
- f) Recreation facilities;
- g) Residential (Single detached dwelling)
- h) Tourist accommodation
- i) Congregate care
- j) Assisted living

2. Accessory Uses**i) On any lot:**

- a) Carriage house
- b) Bed and breakfast
- c) Secondary suite
- d) Home occupation

3. Condition of Use

- i) Any fairgrounds associated with Assembly use shall be subject to the following conditions:
 - a) Any camping associated with fairground use must be in conjunction with an event sponsored by a non-profit cause, organization or society taking place on the lot on which the use is carried out.

4. Permitted Density**4.1 Single Detached Residential**

- i) Maximum of twenty (20) residential units per 1.0 ha.
- ii) One carriage house or secondary suite to a maximum floor area of 90 square metres is permitted per single detached dwelling lot as per Section 313, except that the siting for a carriage house shall be in accordance with section 5(i) of this part

4.2 Multi Residential

- i) Maximum of sixty (60) residential units per 1.0 ha.

4.3 Non Residential

3.3.1 Real Estate Sales Centre

- i) The total combined floor area of all real estate centres within the RPF zone shall not exceed 464.5 square metres.

5. Sustainability Requirements

- i) Pursuant to Section 3 above, the multi-residential density provision requires the Developer to incorporate the following into the project: building design incorporating LEED™ certification, on-site rain water detention, passive solar building orientation or similar type of sustainability initiatives.

6. Siting and Height of Buildings and Structures:

The setbacks required for buildings and structures within the RPF zone shall be as set out in the tables below:

- i) Single Detached Residential Setbacks and Height:

Type of Structure	Height	Required Setback			
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal	2-storey maximum (11.0m)	4.5m	4.5m	1.5m	4.5 m
Carriage House	2-storey maximum (8.0 m)	4.5m	1.5m	1.5m	4.5m
Accessory	4.5m	4.5m	1.5m	1.5m	4.5m

- ii) Multi-Residential Setbacks and Height:

Type of Structure	Height	Required Setback			
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal	3-storey maximum (13.7m)	4.5m	3.0m	3.0m	4.5m
Accessory	4.5m	4.5m	1.5m	3.0m	4.5m

7. Lot Coverage

The maximum lot coverage for all buildings and structures shall not exceed the following:

- i) The maximum lot coverage for all single detached dwellings and structures is 40 per cent, 35 per cent if single detached dwellings and structures are greater than 278.7square metres.
- ii) The maximum lot coverage for all multi-residential dwellings and structures is 60 per cent.
- iii) The maximum lot coverage for all non-residential buildings is 70per cent.

8. Subdivision Requirements

- i) The minimum lot area for a single detached dwelling shall be 400 square metres subject to connection to a community water system and a community sewer system.

\

DRRAFT

End • RPF

1102.3**Mixed-Use Commercial-Residential (MUCR)**

Mixed-Use Commercial-Residential (MUCR) is a zone for Comprehensive Development Area 3 (CDA-3), as shown on Appendix “1.” MUCR is a zone created to permit a “Village Core” which includes a variety and a mix of land uses on the same site or within a common building, and includes multi-residential, commercial, tourist accommodation, marina, retail, offices and assembly uses.

1. Principal Uses

- i) **On any lot:**
- a) Marina
 - b) Golf course
 - c) Mixed use
 - d) Multi-residential
 - e) Assisted living
 - f) Community care
 - g) Congregate care
 - h) Interpretive / cultural centre
 - i) Liquor licensed establishment
 - j) Craft
 - k) Commercial
 - l) Assembly use
 - m) Institutional use
 - n) Real estate sales centre
 - o) Recreation facilities
 - p) Tourist accommodation

2. Accessory Uses

- i) **On any lot:**
- a) Accessory to tourist accommodation use:
 - 1) Conference facilities
 - 2) Meeting rooms
 - 3) Ancillary service and retail services
 - b) Health club / spa

3. Condition of Use

- i) Any fairgrounds associated with Assembly use shall be subject to the following conditions:
- a) Any camping associated with fairground use must be in conjunction with an event sponsored by a non-profit cause, organization or society taking place on the lot on which the use is carried out.

4. Permitted Density**4.1 Single Detached Residential**

- i) Not permitted.

4.2 Multi-Residential and Mixed Use Residential

- i) Maximum of ninety (90) units per 1.0 ha.

4.3 Non Residential

- i) The total floor area of all commercial uses within the MUCR zone shall not exceed 30,000 square metres. The total commercial floor area within any single building shall not exceed 2,787 square metres.

5. Sustainability Requirements

- i) Pursuant to Section 3 above, the multi-residential density provision requires the Developer to incorporate the following into the project: building design incorporating LEED™ certification, on-site storm water detention, passive solar building orientation or similar types of sustainability initiatives.

6. Siting and Height Buildings and Structures

The setbacks required for buildings and structures within the MUCR zone shall be as set out in the tables below:

- i) Multi-Residential Setbacks and Height:

Type of Use	Height	Required Setback			
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal	4-storey maximum (13.7m)	4.5m	3.0m	1.5m	4.5 m
Accessory	4.5m	4.5m	1.5m	1.5m	4.5 m

- ii) Commercial and Mixed-Use Buildings Setbacks and Height:

Type of Use	Height	Required Setback			
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal	4-storey maximum (13.7m)	4.5m	0.0m	0.0m	4.5m
Accessory	4.5m	4.5m	0.0m	0.0m	4.5m

7. **Lot Coverage**

The maximum lot coverage for all buildings and structures shall not exceed the following:

- i) The maximum lot coverage for multi-residential and mixed-use buildings and structures is 75 per cent.
- ii) The maximum lot coverage for non-residential buildings and structures is 90 per cent.

DRAFT

End • MUCR

1102.4**Mixed-Residential (MR)**

Mixed-residential (MR) is a zone for Comprehensive Development Area 4 (CDA-4), as shown on Appendix “1.” MR is a zone created to permit a variety of residential use, congregate care, recreation facilities and assembly uses.

1. Principal Uses**i) On any lot:**

- a) Congregate care
- b) Multi-residential
- c) Assisted living
- d) Community care facilities
- e) Assembly use
- f) Institutional use
- g) Interpretive / cultural centre
- h) Golf course excluding buildings and structures
- i) Limited neighbourhood commercial
- j) Real estate sales centre
- k) Recreation facilities
- l) Single detached dwelling

2. Accessory Uses**i) On any lot:**

- a) Carriage house
- b) Bed and breakfast
- c) Home occupation
- d) Secondary suite

3. Condition of Use

- i) Any fairgrounds associated with Assembly use shall be subject to the following conditions:
 - a) Any camping associated with fairground use must be in conjunction with an event sponsored by a non-profit cause, organization or society taking place on the lot on which the use is carried out.

4. Permitted Density**4.1 Single Detached Residential**

- i) Maximum of twenty (20) residential units per 1.0 ha.
- ii) One carriage house or secondary suite to a maximum floor area of 90 square metres is permitted per single detached dwelling lot as per Section 313,

except that the siting for a carriage house shall be in accordance with section 5(i) of this part.

4.2 Multi Residential

- i) Maximum of forty (40) residential units per 1.0 ha.

4.3 Non Residential

4.3.1 Limited Neighbourhood Commercial

- i) The total floor area of all limited neighbourhood commercial uses within the MR zone shall not exceed 1,858 square metres. The total limited neighbourhood commercial floor area within any single building shall not exceed 500 square metres.

4.3.2 Real Estate Sales Centre

- i) The total combined floor area of all real estate centres within the MR zone shall not exceed 464.5 square metres.

5. Sustainability Requirements

- i) Pursuant to Section 3 above, the multi-residential density provision require the Developer to incorporate the following into the project: building design incorporating LEED™ certification, on-site storm water detention, passive solar building orientation and or similar types of sustainability initiatives

6. Siting and Height of Buildings and Structures

The setbacks required for buildings and structures within the MR zone shall be as set out in the tables below:

- i) Single Detached Dwelling Setbacks and Height:

Type of Structure	Height	Required Setback			
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal	2-storey maximum (11.0m)	4.5m	4.5m	1.5m	4.5m
Carriage House	2-storey maximum (8.0m)	4.5m	1.5m	1.5m	4.5m
Accessory	4.5m	4.5m	1.5m	1.5m	4.5m

ii) Multi-Residential Setbacks and Height:

Type of Structure	Height	Required Setback			
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal	3-storey maximum (13.7m)	4.5m	3.0m	3.0m	4.5m
Accessory	4.5m	4.5m	1.5m	3.0m	4.5m

iii) Non-Residential Buildings Setbacks and Height:

Type of Structure	Height	Required Setback			
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal	3-storey maximum (13.7m)	4.5m	1.5m	3.0m	4.5m
Accessory	4.5m	4.5m	1.5m	3.0m	4.5m

7. Lot Coverage

The maximum lot coverage for all buildings and structures shall not exceed the following:

- i) The maximum lot coverage for all single detached dwellings and structures is 40 per cent, 35 per cent if single detached dwellings and structures are greater than 278.7 square metres.
- ii) The maximum lot coverage for all multi-residential dwellings and structures is 60 per cent.
- iii) The maximum lot coverage for all non-residential buildings and structures is 60 per cent.

7. Subdivision Requirements

- i) The minimum lot area for a single detached dwelling shall be 350 square metres subject to connection to a community water system and a community sewer system.

End • MR

1102.5 Mixed Residential/Institutional (MRI)

Mixed residential/Institutional (MRI) is a zone for Comprehensive Development Area 5 (CDA-5), as shown on Appendix “1.” MRI is a zone created to permit a variety of residential use, institutional and assembly uses.

1. Principal Uses

- i) **On any lot or portion of any lot zoned MRI only the following principal uses are permitted:**
- a) Institutional use
 - b) Multi-residential
 - c) Assembly use
 - d) Institutional use
 - e) Assisted living
 - f) Congregate care;
 - g) Community care facility
 - h) Recreation facility
 - i) Limited neighbourhood commercial
 - j) Real estate sales centre
 - k) Single detached dwelling

2. Accessory Uses

- i) **On any lot or portion of any lot zoned MRI only the following accessory uses are permitted:**
- a) Carriage house
 - b) Home occupation
 - c) Secondary suite
 - d) Bed and breakfast

3. Condition of Use

- i) Any fairgrounds associated with Assembly use shall be subject to the following conditions:
- a) Any camping associated with fairground use must be in conjunction with an event sponsored by a non-profit cause, organization or society taking place on the lot on which the use is carried out.

4. Permitted Density

4.1 Single Detached Residential

- i) Maximum of twenty (20) residential units per 1.0 ha.

- ii) One carriage house or secondary suite to a maximum floor area of 90 square metres is permitted per single detached dwelling lot as per Section 313, except that the siting for a carriage house shall be in accordance with section 5(i) of this part.

4.2 Multi Residential

- i) Maximum of forty (40) residential units per 1.0 ha.

4.3 Non Residential

3.3.1 Limited Neighbourhood Commercial

- i) The total floor area of all limited neighbourhood commercial uses within the MRI zone shall not exceed 929 square metres. The total limited neighbourhood commercial floor area within any single building shall not exceed 500 square metres.

3.3.2 Real Estate Sales Centre

- ii) The total combined floor area of all real estate centres within the MRI zone shall not exceed 464.5 square metres.

5. Sustainability Requirements

- i) Pursuant to Section 3 above, the multi-residential density provision requires the Developer to incorporate the following into the project: building design incorporating LEED™ certification, on-site storm water detention, passive building orientation or similar types of sustainability initiatives.

6. Siting of all Buildings and Structures

The setbacks required for buildings and structures within the MRI zone shall be as set out in the tables below:

- i) Single Detached Residential Setbacks and Height:

Type of Structure	Height	Required Setback			
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal	2-storey maximum (11.0m)	4.5m	4.5m	1.5m	4.5 m
Carriage House	2-storey maximum (8.0m)	4.5m	1.5m	1.5m	4.5m
Accessory	4.5m	4.5m	1.5m	1.5m	4.5m

ii) Multi-Residential Setbacks and Height:

Type of Structure	Height	Required Setback			
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal	3-storey maximum [13.7m]	4.5m	3.0m	3.0m	4.5m
Accessory	4.5m	4.5m	1.5m	3.0m	4.5m

iii) Non-Residential Buildings Setbacks and Height:

Type of Structure	Height	Required Setback			
		Front Yard	Rear Yard	Side Yard	Side Yard Abutting Road
Principal	3-storey maximum (13.7m)	4.5m	1.5m	3.0m	4.5m
Accessory	4.5m	4.5m	1.5m	3.0m	4.5m

7. Lot Coverage

The maximum lot coverage for all buildings and structures shall not exceed the following:

- i) The maximum lot coverage for all single detached dwellings and structures is 40 per cent, 35 per cent if single detached residential buildings and structures are greater than 278.7 square metres.
- i) The maximum lot coverage for all multi-residential dwellings and structures is 60 per cent.
- ii) The maximum lot coverage for all non-residential buildings and structures is 60 per cent.

8. Subdivision Requirements

- i) The minimum lot area permitted for single detached dwelling shall be 350 square metres.

End • MRI

1103 Saratoga Beach Estates Comprehensive Development Zone (SBE-CD)

1. General Provisions

- i) The Saratoga Beach Estates comprehensive development shall be carried out in compliance with the master development agreement.
- ii) All lots shall be connected to a community water and sanitary sewer system.
- iii) The minimum parking requirements per lot are specified in section 3.2 of this SBE-CD zone. Any additional parking spaces provided above and beyond the minimum requirement, may be provided on the subject property or in the street to serve as a traffic calming measurement; with the provision of leaving a 6 m (19.7 ft) wide street surface open for fire trucks to pass vehicles parked on the street.

2. Principal Use

On any lot zoned SBE-CD only the following principal uses are permitted:

- i) Single detached dwelling
- ii) Duplex dwellings

3. Accessory Uses

On any lot zoned SBE-CD only the following accessory uses are permitted:

- i) Secondary suite
- ii) Home occupation
- iii) Bed and Breakfast

4. Conditions of Use

Residential use shall be subject to the following:

- i) Duplexe dwelling are permitted only on corner lots and shall be designed to provide pedestrian and vehicles access to each unit from separate frontages provided that:
 - a) The building shall be oriented so that one unit faces the front street and the other unit faces the flanking side street.
 - b) Each duplex unit has a separate driveway.
 - c) Neither duplex unit has a secondary suite; or secondary dwelling on the lot.
 - d) The setbacks specifications of this zone is met with the understanding that although two (2) separate civic frontages for each lot is allowed; there will be only one (1) legal frontage to the lot in accordance with the definition and Figure 3 of Bylaw No. 2781 being the “Comox Valley Zoning Bylaw, 2005”.

Parking:

- ii) The required minimum number of parking spaces for each use accommodated on a lot is listed in the table below:

Land Use	Minimum Number of On-Site Parking Spaces Required
Single detached dwelling home	One (1) on-site parking space per dwelling.
Duplex home	One (1) on-site parking space for each duplex unit.
Secondary suite	One (1) on-site parking space for the exclusive use of the secondary suite.
Home occupation	The parking of vehicles in connection with a home occupation use shall take place only on the lot used for the home occupation. Only one (1) commercial vehicle may be parked or stored on any lot in conjunction with home occupation use, notwithstanding that there may be more than one approved home occupation operating on the lot.
Bed and Breakfast	In addition to the parking requirements for the residence at least one (1) automobile parking space shall be provided on the same lot for the exclusive use of each room available for accommodation.

The development of Saratoga Beach Estates phase one

- v) Schedule ‘A-1’ is attached hereto and form a part of the Saratoga Beach Estates Comprehensive Development Zone One (SBE-CD). Development of the Saratoga Beach Estates phase one shall be in accordance with Schedule ‘A-1’, showing the general layout, the provision of public and private open spaces and trails and where storm water will be collected.

5. Density

Residential density is limited to:

- i) On any lot: one single detached dwelling; or one single detached dwelling and one secondary suite limited in area to 90.0 square metres; or one duplex dwelling provided that these three different lot configurations meet the conditions specified in this zone.

6. Siting and Height of Buildings and Structures

- i) The setbacks required for buildings and structures within the SBE-CD zone are as set out in the table below:

Type of Structure	Height	Required Setback		
		Front Yard	Rear Yard	Side Yard
Principal	10.0m	4.5m	4.5m	The side yard setbacks shall total no less than 4.5m; with a minimum side yard setback on each side of 1.5m except where a side yard flanks a street in which case the minimum distance shall be 4.5m
Accessory	4.5m or less	4.5m	1.0m	1.0m
Accessory	7.0m - 4.6m	4.5m	4.5m	1.75m

Height

- ii) The height of a building will be measured from the average natural grade as defined in “Height of building” in this bylaw.
- iii) The height of any principal and or accessory uses are restricted to one “storey” above the “first storey” as defined as follows in the British Columbia Building Code 2006:
- iv) “Storey” means that portion of a *building* which is situated between the top of any floor and the top of the floor next above it, and if there is no floor above it, that portion between the top of such floor and the ceiling above it.
- v) ‘First Storey’ means the uppermost *storey* having its floor level not more than 2 m above *grade*.”

Siting Specifications

- vi) The location of buildings on each lot will be orientated to best practices available to:
 - a) Capture and retain snow fall and rainwater on site
 - b) Maximize solar orientation – the heat and light generated from the sun.
- vii) No accessory building(s) shall be extended beyond any portion of a principal residential building facing a street.
- viii) In addition to the setbacks mentioned in the table above, the following siting specifications apply:
 - a) Part 400 of this bylaw.
 - b) Section 302 2) f) and g) Flood Construction Levels; and Section 303 1) c) and d), Floodplain Setbacks of Bylaw No. 2782 being the “Floodplain Management Bylaw, 2005” which will affect all lots adjacent to the watercourse running through the subject land and the existing man-made pond adjacent to and north of some of the proposed lots.

Lot Coverage

- ix) The maximum lot coverage of all buildings and structures shall not exceed 35 per cent of the total lot area.

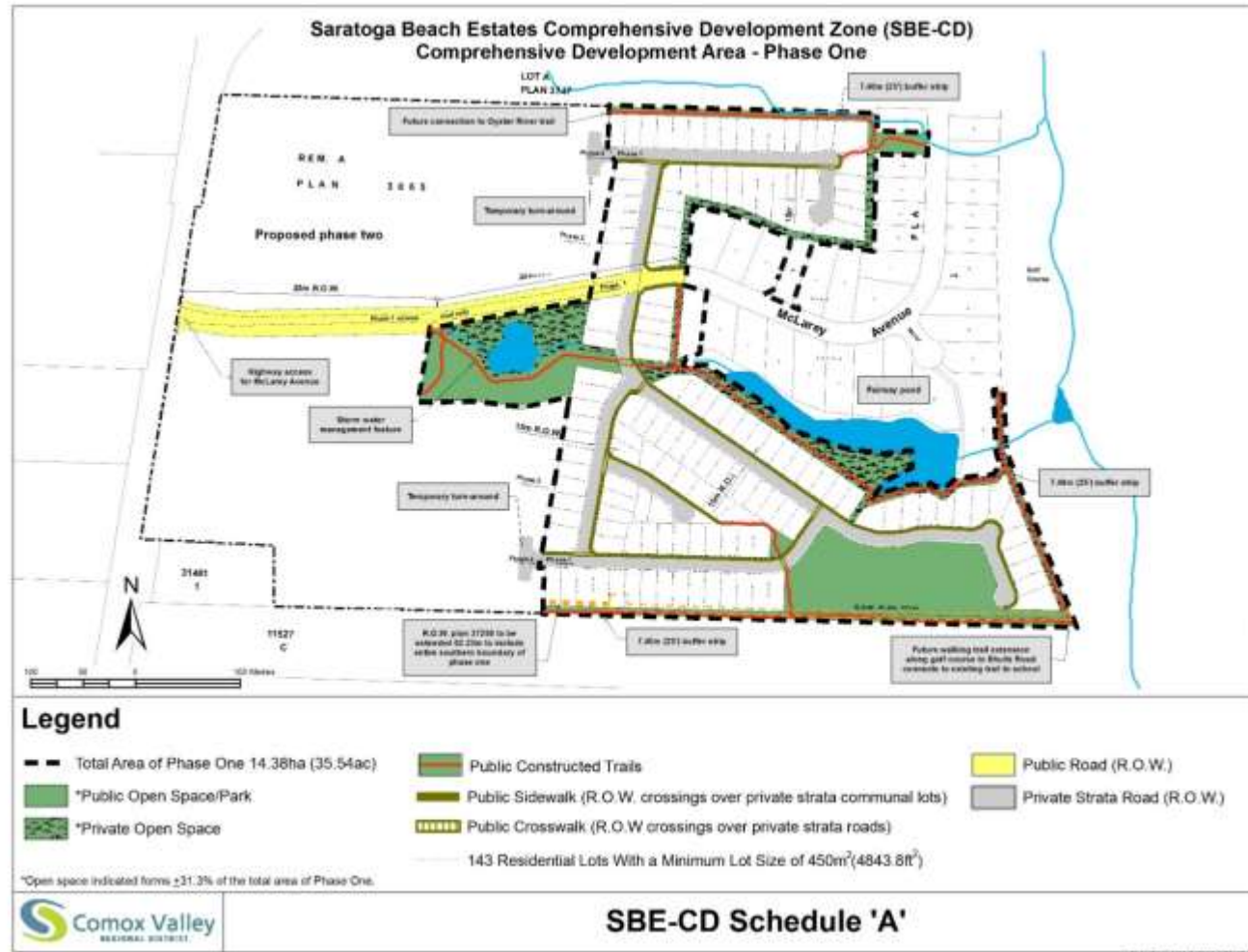
Subdivision Requirements

- x) Lot Area – The minimum lot area permitted for single detached dwelling residential shall be 450 square metres.

DRAFT

Appendix 1

SBE-CD



End • SBE-CD

Part 1200**Exceptions to Zone Designations****1201 Introduction**

1. The provisions contained in the following exceptions shall have effect, notwithstanding anything else in this Bylaw and all other provisions of this Bylaw shall be deemed to be amended insofar as is necessary to give effect thereto.
2. Part 301 "Uses Permitted in All Zones" shall apply to lands having an exception to the zone designation unless the use is specifically prohibited by the exception.
3. The following exceptions to zone designations shall apply to specific properties in Parts 600, 700, 800, 900, 1000 and 1100."

DRAFT

Exception 1

Exception	Zone	Map	Amendment	Enacted
1	C-1	Schedule A-3	No. 56	January 28, 2014

1. Principal Uses

On any lot or portion of any lot zoned C-1-1 only the following principal uses are permitted:

- i) Retail establishment
- ii) Service establishment
- iii) Licensed establishment
- iv) Restaurant

2. Accessory Uses

On any lot or portion of any lot zoned C-1-1, the following accessory uses are permitted:

- i) Outdoor storage
- ii) Residential use (Single detached dwelling)

3. Conditions of Use

- i) All uses listed in Section (1), "**Principal Uses**," and Section (2), "**Accessory Uses**," shall be subject to the following conditions:
 - a) No parking, loading or storage areas shall be located within 1.5 metres of any property line.
 - ii) Residential use is limited to:
 - a) **On any lot:** one dwelling unit.

Except as amended herein, all other provisions of this Bylaw, as amended, shall apply.

Notwithstanding these exceptions, all other regulations of the C-1 zone apply.

Please refer to this link for the C-1 zone: <http://imap.comoxvalleyrd.ca/zoning/2781/C-1.pdf>

Exception 2

Exception	Zone	Map	Amendment	Enacted
2	RU-ALR	Schedule A-11	No. 57	February 25, 2014

1. Siting of Buildings and Structures

- i) Rear yard: 5.8 metres for a principal structure containing a residential use.

Notwithstanding this exception, all other regulations of the RU-ALR zone apply.

Please refer to this link for the RU-ALR zone:

<http://imap.comoxvalleyrd.ca/zoning/2781/RU-ALR.pdf>

DRAFT

Exception 3

Exception	Zone	Map	Amendment	Enacted
3	RU-8	Schedule A-11	No. 65	July 5, 2016

1. Principal Use

- i) On any lot or portion of any lot zoned RU-8-3, the following additional principal use is permitted:
 - a) Interpretive/cultural centre.

2. Accessory Uses

- i) On any lot or portion of any lot zoned RU-8-3, the following additional accessory use is permitted:
 - a) Special events directly related to a principal use.

Notwithstanding these exceptions, all other regulations of the RU-8 zone apply.

Please refer to this link for the RU-8 zone: <http://imap.comoxvalleyrd.ca/zoning/2781/RU-8.pdf>

Exception 4

Exception	Zone	Map	Amendment	Enacted
4	RU-20	Schedule A-11	No. 66	December 13, 2016

1. Conditions of Use

- i) Despite section 803(1)(ii), on lands located outside the Agricultural Land Reserve and where “agricultural use” is expressly permitted as a use, agri-tourism accommodations are permitted to a maximum of one yurt and four recreational vehicle stalls.

Notwithstanding this exception, all other regulations of the RU- 20 zone apply.

Please refer to this link for the RU-20 zone:

<http://imap.comoxvalleyrd.ca/zoning/2781/RU-20.pdf>

DRAFT

Exception 5

Exception	Zone	Map	Amendment	Enacted
5	CR-1	A-11	No. 67	June 27, 2017

1. Subdivision Requirements

- i) Notwithstanding any other provision of this bylaw, the minimum lot size for a lot created under section 514 of the *Local Government Act* (RSBC, 2015, c. 1) (subdivision to provide residence for a relative) is 1.2 hectare.

2. Density

- i) On lots less than 2 hectares, density is limited to one dwelling unit.

Notwithstanding this exception, all other regulations of the CR-1 zone apply. Please refer to this link for the CR-1 zone:

<http://imap.comoxvalleyrd.ca/zoning/2781/CR-1.pdf>

Exception 6

Exception	Zone	Map	Amendment	Enacted
6	IL	A-8	No. 69	June 27, 2017

1. Principal Uses

- i) **Only the following:**
 - a) Plant nursery and greenhouse
 - b) Industrial equipment, sales, and services
 - c) Light industrial
 - d) Warehousing
 - e) Wholesale establishments
 - f) Mini-storage

2. Accessory Uses

- i) Industrial equipment, maintenance and repair
- ii) Offices
- iii) Residential use limited to one dwelling unit
- iv) Outdoor storage
- v) Retail and wholesale sales

All other provisions of the industrial light zone apply.

Please refer to this link for the Industrial Light zone:

<http://imap.comoxvalleyrd.ca/zoning/2781/IL.pdf>

Exception 7

Exception 7	Zone UR-400ha	Map A-7	Amendment No. 70	Enacted January 23, 2018
------------------------	--------------------------	--------------------	-----------------------------	-------------------------------------

1. **Principal Uses**

In addition to the principal uses of the UR-400ha zone, the following principal uses are permitted:

- i. Recreational facilities
- ii. Dock
- iii. Boat launch
- iv. Interpretive/cultural centre
- v. Campground

2. **Accessory Uses**

Only the following accessory uses are permitted:

- i. Special events related to a principal use
- ii. Wood processing

3. **Setbacks**

- i. Notwithstanding any other setback provision of this bylaw, the minimum setback for structures, except structures containing or related to utility use, to Comox Lake is 30m and to any other watercourse is 15m.
- ii. Except for the 55 campsites shown on Exception 7 - Schedule 1, the minimum setback of a campsite (including RV and tent sites) to Comox Lake is 30m and to any other watercourse is 15m. The setback to Comox Lake and any other watercourse for the 55 campsites shown on Exception 7 – Schedule 1 is 15m.



4. Conditions of Use

- i. All recycling/compost/waste shall be stored in a centralized and contained location(s). No recycling/compost/waste shall be stored within 30m of a watercourse.
- ii. Each campsite, with the exception of the 55 campsites shown on Exception 7 – Schedule 1, shall have a minimum area of 110m².
- iii. Centralized wash station(s) (i.e. facility for dishwashing, showering) shall be provided for patrons of the campground. Wash station(s) shall adhere to the requirements of the health authority (i.e. discharge).

Except as amended herein, all other provisions of this bylaw as amended, shall apply.

Notwithstanding this exception, all other regulations of the Upland Resource (UR) zone apply.

Please refer to this link for the UR zone:

<http://imap.comoxvalleyrd.ca/zoning/2781/UR.pdf>

End • UR-400ba exception 7

Memo

File: 3060-20/DP 11B 18

DATE: July 18, 2018

TO: Advisory Planning Commission
Lazo North (Electoral Area B)

FROM: Planning and Development Services Branch

RE: Development Permit (Commercial and Industrial Form and Character)
1690 Ryan Road
Lot 2, District Lots 229 and 239, Comox District, Plan VIP85435, except Plan
EPP78295, PID 027-590-558

The attached development proposal (Appendix A) is for commission members' review and comment. The application is to be considered as it relates to the commercial/light industrial (form & character) development permit guidelines (Appendix B).

The applicant, Jo-Ann Estates Ltd., rezoned the subject property in 2016 to allow for light industrial uses and warehousing with the intent of transitioning an existing moving and storage business (which currently operates on an adjacent lot to the west) onto this subject property. The subject property (Figures 1 and 2) is a 4.7 hectares in area with a watercourse along its western boundary and a wetland area in the rear. The applicant does not intend to conduct any land alterations within 30 metres of the watercourse. The scope of work being considered in this application and permit is the first phase of the property's development which will consist of constructing an office building with gravelled area for parking and storage and a free-standing sign in the southeast corner of the lot.

Development Permit *Form and Character*

The guidelines (Appendix B) direct that all buildings and structures be architecturally coordinated and give consideration to the relationship between buildings and open areas, circulation systems, visual impact and design compatibility with the surrounding development. This portion of Ryan Road East, between the air force base and Anderton Road, has a mix of commercial, light industrial and residential development. The immediate neighbours are an animal shelter (SPCA) to the east, the moving company associated with the applicant to the west, and more warehousing and storage buildings to the south across the road.

The applicant intends to orient the office building facing Ryan Road and behind a free-standing sign. The sign is intended to be approximately 2 metres in height and composed of cedar post with reflective aluminum backing (no lights). The exterior finish of the building is proposed to be 'cedar'

coloured wood or cement fiber with ‘aged pewter’ coloured panels of the same material. The roof of the one-storey building is proposed be made of metal and coloured ‘deep red’.

Access and circulation is being designed to accommodate large moving trucks with a paved driveway approach to a rolling gate. The internal gravel driveway will wrap around the back of the office to a gravelled yard area. The applicant intends to construct a warehouse in that gravel area at a later date.

Screening and Landscaping

The guidelines direct that a landscape plan should be provided that includes a landscaped treatment along the entire frontage of the building site that abuts public roads. At the front the applicant is proposing to install a row of shrubs – Juniper (Blue Star and Old Gold), Heller's Japanese holly, barberry, and Snowmound Spirea – and two Beech (Dawyck Purple) trees. A black-coated chain link fence would be placed between the vegetation and the office building and wrap around the building and storage area.

Rainwater Management

The guidelines direct that a rainwater management plan prepared, by a professional engineer, be submitted that strives to protect water quality, and to maintain post-development peak flows to those of pre-development flow patterns and volumes. The applicant has submitted a drainage plan prepared by McElhanney Consulting Services Ltd.

Sincerely,

T. Trieu *(for)*

Alana Mullaly, MCIP, RPP
Acting General Manager
Planning and Development Services Branch

\jm

Attachments Appendix A – “Site Plans and Building Elevations”
Appendix B – “Commercial and Industrial Development Permit Area (Form and Character)”

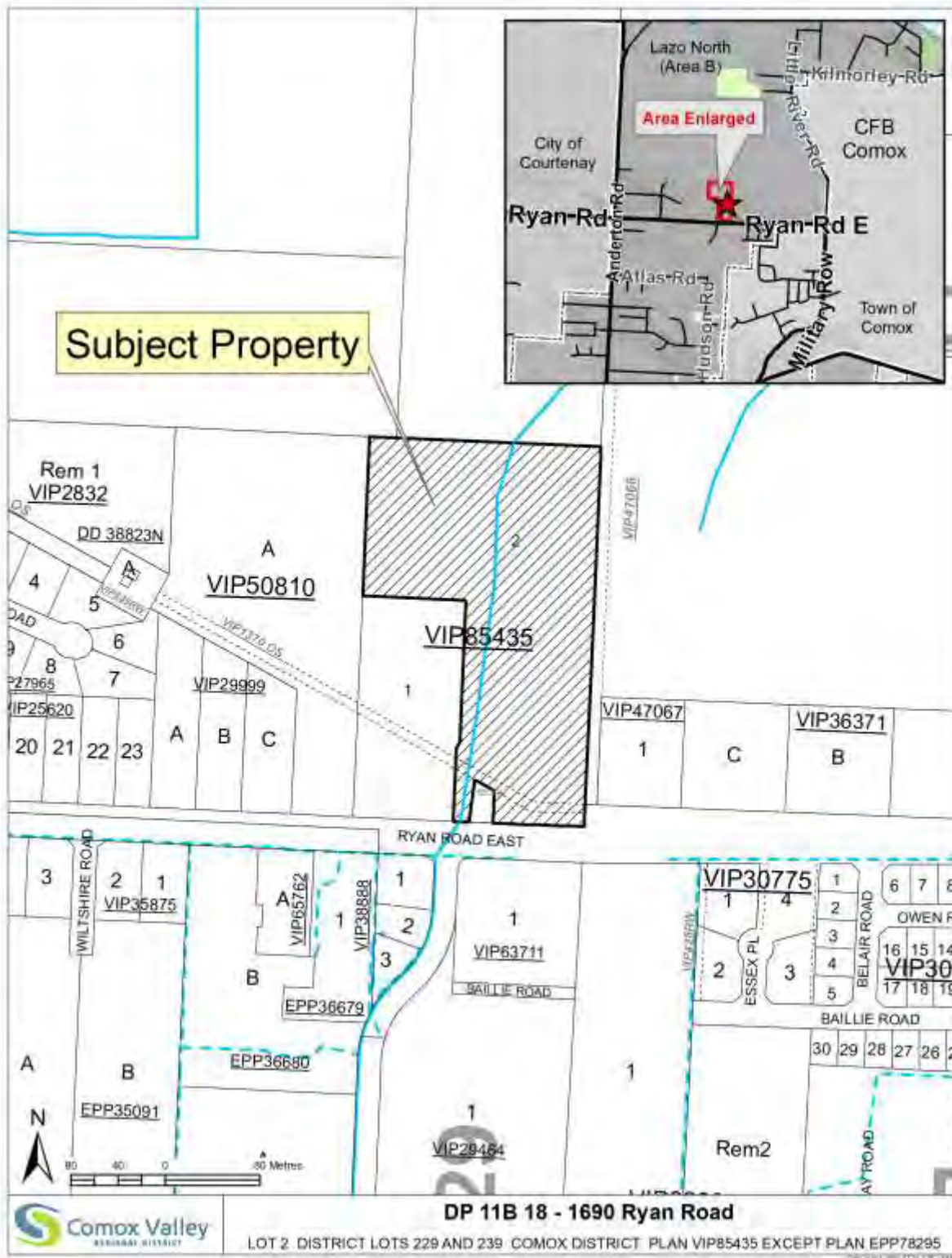
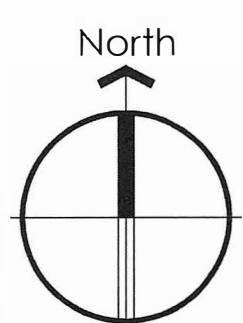
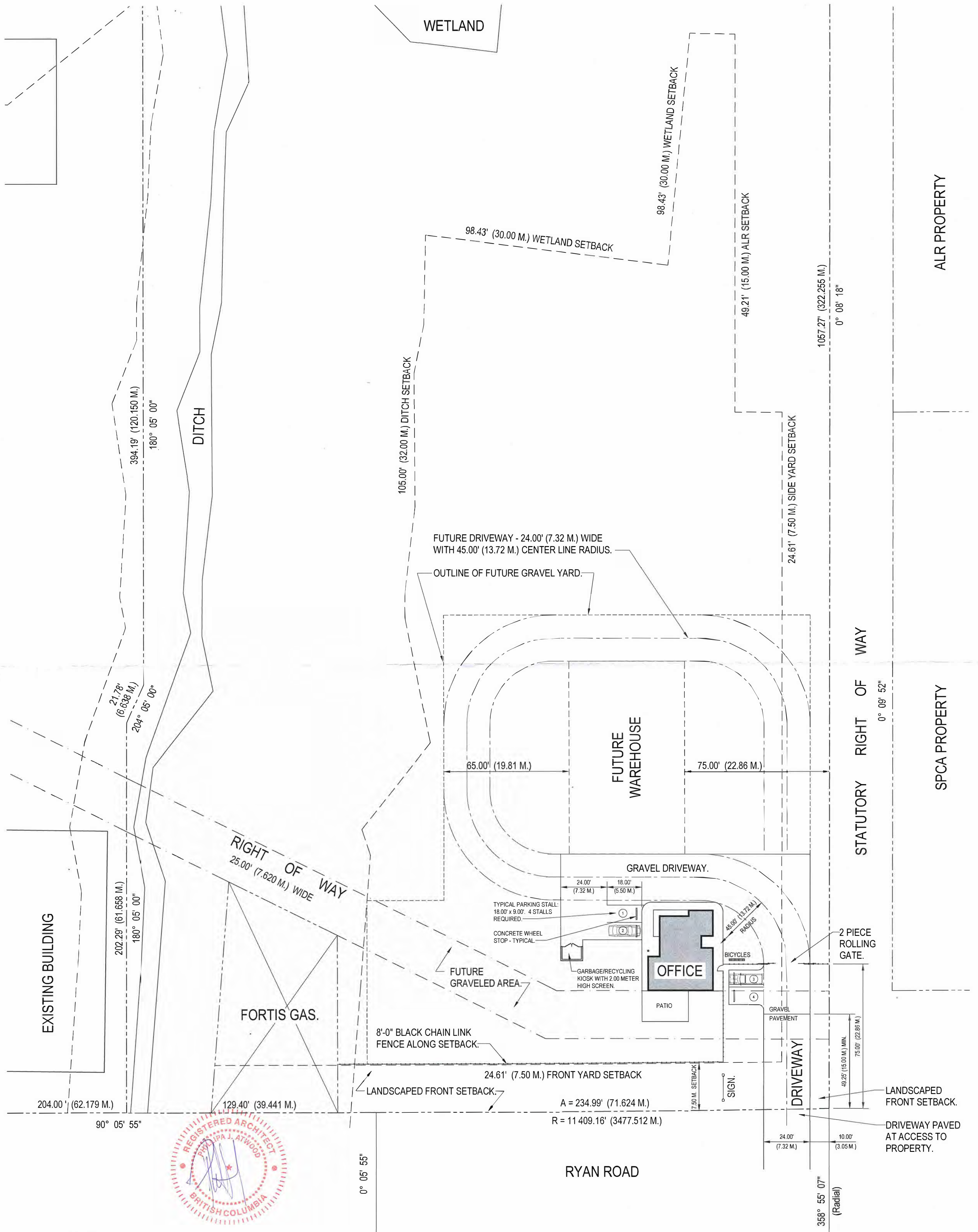


Figure 1: Subject property



Figure 2: Air Photo (2016)

Comox Valley Regional District



REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	30 Apr., 2018	Issued for review	gw
2	11 May, 2018	Revisions per client review	gw
3	08 June, 2018	Issued for development permit application	gw
4	15 June, 2018	Garbage kiosk added/ditch setback revised	gw

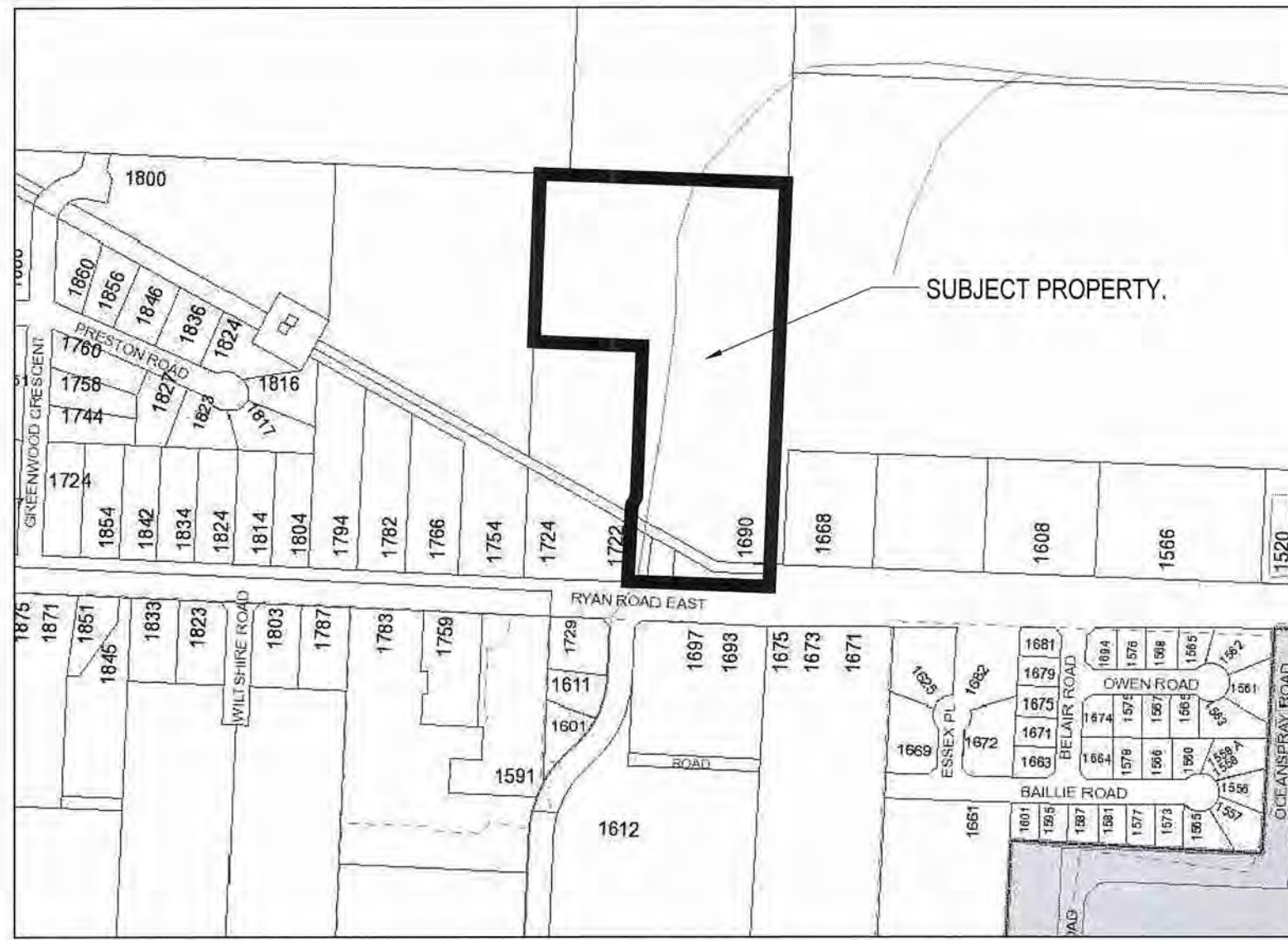


COPYRIGHT
 This drawing is and remains the exclusive property of Phillipa Atwood, Architect AIBC, and cannot be reproduced or copied in any form or by any means (graphic, electronic or mechanical, including photocopying) without the written consent of Phillipa Atwood, Architect AIBC. Any license, express or implied, to use this document for any purpose whatsoever is restricted to the terms of the written agreement between Phillipa Atwood, Architect AIBC and Comox Moving and Storage Ltd.

PROJECT:
COMOX MOVING AND STORAGE SITE DEVELOPMENT
 1690 RYAN ROAD EAST
 COURTENAY, BC

DRAWING NAME:
 SITE PLAN.

FILE: 1213 - Comox Moving.dwg	SCALE: 1"=30'-0"
DRAWN BY: GW	DATE: 17 April, 2018
PROJECT NUMBER: 1213	DRAWING NUMBER: DP-2 2 of 5



LOCATION PLAN

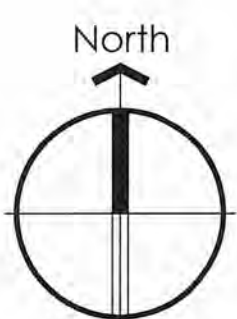
<p>LEGAL ADDRESS:</p> <p>LOT 2, DISTRICT LOTS 229 & 239, LAND DISTRICT 15, PLAN VIP85435. PID: 027-590-887</p> <p>CIVIC ADDRESS:</p> <p>1690 RYAN ROAD EAST V9M 4C9</p> <p>PROJECT DESCRIPTION:</p> <p>SINGLE TENANT OFFICE BUILDING FOR MOVING AND STORAGE COMPANY. MAJOR OCCUPANCY CLASSIFICATION: GROUP D, BUSINESS AND PERSONAL SERVICES OCCUPANCY. (ALLOWABLE USE.)</p> <p>ZONING:</p> <p>INDUSTRIAL LIGHT - 6 (IL-6)</p> <p>AREA OF PROPERTY:</p> <p>4.70 HECTARES (11.614 ACRES) 46,998.65 SQUARE METERS (505,905.84 SQUARE FEET)</p> <p>GROSS BUILDING FLOOR AREA:</p> <p>111.90 SQUARE METERS (1,204.50 SQUARE FEET).</p> <p>HEIGHT OF BUILDING:</p> <p>ALLOWABLE HEIGHT: 10.00 METERS (32.81 FEET) PROPOSED HEIGHT: 4.75 METERS (15.58 FEET)</p>	<p>REQUIRED YARD AND OTHER SETBACKS:</p> <p>FRONT YARD: 7.50 METERS (24.61 FEET) SIDE YARDS: 7.50 METERS (24.61 FEET) REAR YARD: 7.50 METERS (24.61 FEET)</p> <p>WATERWAY SETBACK: 10.00 METERS (32.81 FEET) WETLAND SETBACK: 30.00 METERS (98.43 FEET) ALR SETBACK: 15.00 METERS (49.21 FEET) - COMMERCIAL BUILDING REQUIREMENT PER PART 3 OF MINISTRY OF AGRICULTURE PUBLICATION. "GUIDE TO EDGE PLANNING", 2015 EDITION. 8.00 METER (26.25 FEET) VEGETATED BUFFER REQUIRED WITHIN 15 METER ALR SETBACK.</p> <p>ALL REQUIRED SETBACKS ARE EXCEEDED IN PROPOSED PROJECT.</p> <p>LOT COVERAGE:</p> <p>MAXIMUM ALLOWABLE: 50.00% OF LOT AREA. PROPOSED: 0.24 % OF LOT AREA.</p> <p>FLOOR AREA RATIO:</p> <p>FAR ALLOWABLE: NO LIMIT. FAR PROPOSED: 0.0024</p> <p>PARKING REQUIREMENTS:</p> <p>ONE PARKING STALL PER 35 SQUARE METERS GROSS FLOOR AREA. = 111.90 SQ. M. ÷ 35.00 SQ. M. = 3.20 → 4 STALLS. NO PARKING STALLS LOCATED WITHIN 1.5 METERS (4.92 FEET) OF ANY PROPERTY LINE.</p> <p>BUILDING CODE REFERENCE:</p> <p>BUILDING IS GOVERNED BY PART NINE OF THE BC BUILDING CODE, 2012.</p>
---	--

PROJECT DATA

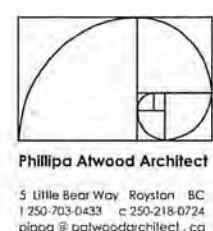
DP-1: LOCATION PLAN. PROJECT DATA. DRAWING INDEX.	DP-3: FLOOR PLAN.
DP-2: SITE PLAN.	DP-4: EXTERIOR ELEVATIONS.
	DP-5: PERSPECTIVE VIEWS. MATERIALS SCHEDULE.

DRAWING INDEX

Comox Valley Regional District
RECEIVED
File: 3060-20/DP 11818
JUN 14 2018
To:
cc:



REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	06 June, 2018	Issued for development permit application	gw
			gw



Phillipa Atwood Architect
3 Little Bear Way, Royston, BC
V2A 1K3
p. 250.218.0724
p. 250.218.0724
p. 250.218.0724

COPYRIGHT
This drawing is and remains the exclusive property of Phillipa Atwood, Architect AIBC, and cannot be reproduced or copied in any form or by any means (graphic, electronic or mechanical, including photocopying) without the written consent of Phillipa Atwood, Architect AIBC. Any license, express or implied, to use this document for any purpose whatsoever is restricted to the terms of the written agreement between Phillipa Atwood, Architect AIBC and Comox Moving and Storage Ltd.

PROJECT:
COMOX MOVING AND STORAGE SITE DEVELOPMENT
1690 RYAN ROAD EAST
COURTENAY, BC

DRAWING NAME:
LOCATION PLAN.
PROJECT DATA.
DRAWING INDEX.

FILE: 1213 - Comox Moving.dwg	SCALE: NO SCALE
DRAWN BY: GW	DATE: 05 June, 2018
PROJECT NUMBER: 1213	DRAWING NUMBER: DP-1 1 of 5

STANDING SEAM SHEET METAL ROOFING.

PREFINISHED SHEET METAL FLASHING.

WOOD OR CEMENT FIBER FASCIA BOARD.

VINYL WINDOW FRAMES.

HORIZONTAL WOOD OR WOOD LOOK SIDING.

CEMENT FIBER PANELS.

FINISHED GRADE.



REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	30 Apr., 2018	Issued for review	GW
2	11 May., 2018	Revisions per client review	GW
3	08 June, 2018	Issued for development permit application	GW



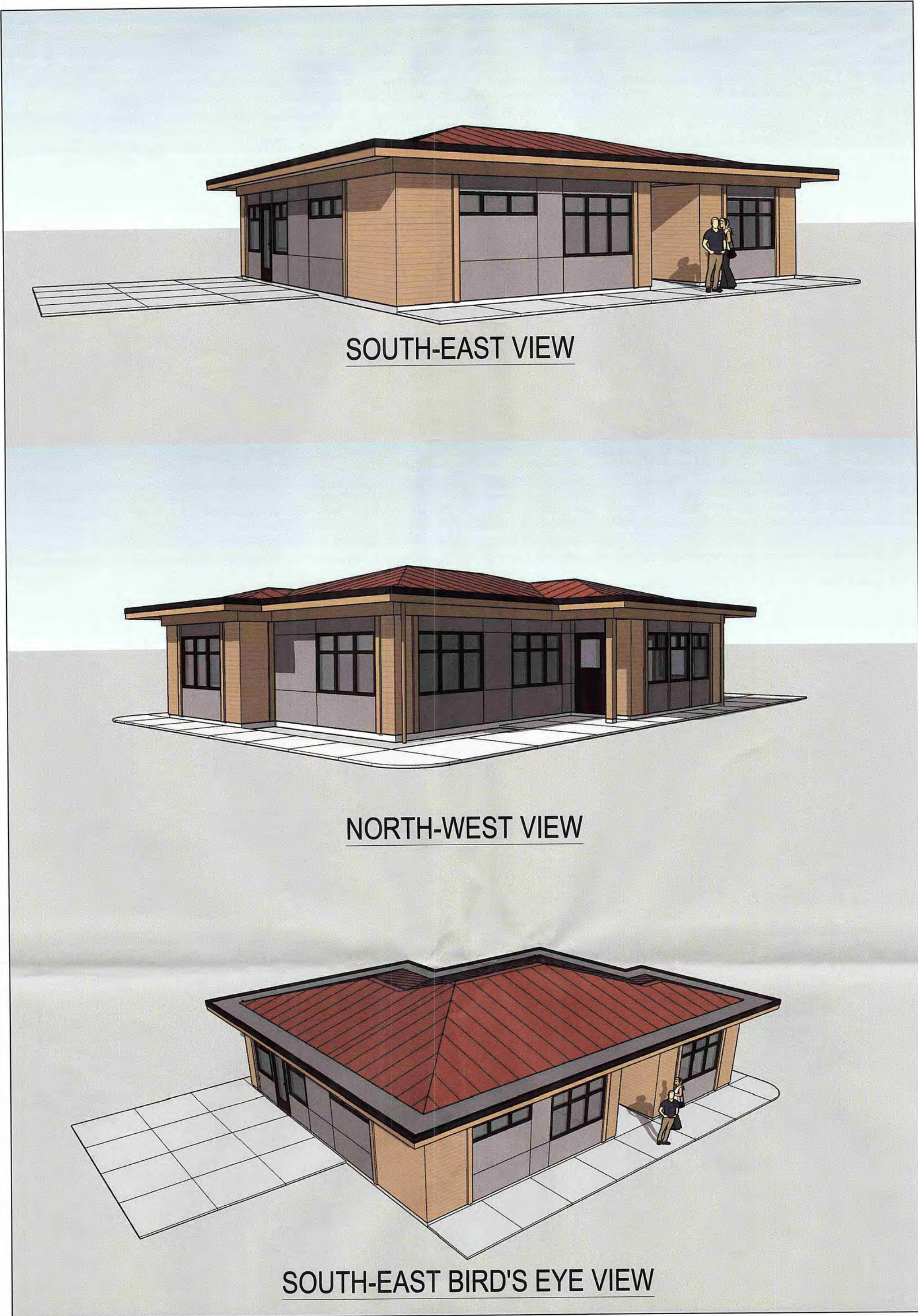
Phillipa Atwood Architect
5 Little Bear Way, Royston BC
1 250-703-0433 c 250-218-0724
p@ppa & p@phwoodarchitect.ca

COPYRIGHT
This drawing is and remains the exclusive property of Phillipa Atwood, Architect AIBC, and cannot be reproduced or copied in any form or by any means (graphic, electronic or mechanical, including photocopying) without the written consent of Phillipa Atwood, Architect AIBC. Any license, express or implied, to use this document for any purpose whatsoever is restricted to the terms of the written agreement between Phillipa Atwood, Architect AIBC and Comox Moving and Storage Ltd.

PROJECT:
COMOX MOVING AND STORAGE SITE DEVELOPMENT
-
1690 RYAN ROAD EAST
COURTENAY, BC

DRAWING NAME:
EXTERIOR ELEVATIONS.

FILE: 1213 - Comox Moving.dwg	SCALE: 3/16"=1'-0"
DRAWN BY: GW	DATE: 29 April, 2018
PROJECT NUMBER: 1213	DRAWING NUMBER: DP-4 4 of 5



SOUTH-EAST VIEW

NORTH-WEST VIEW

SOUTH-EAST BIRD'S EYE VIEW

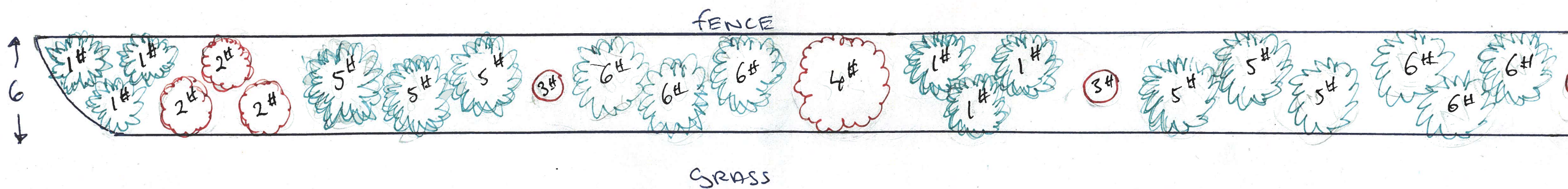
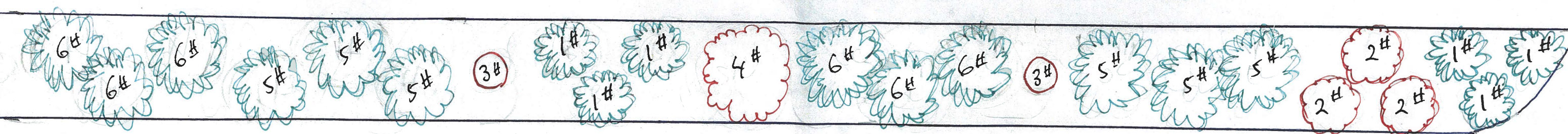
PERSPECTIVE VIEWS

<p>ROOFING:</p> <p>STANDING SEAM SHEET METAL; "DEEP RED" FROM WESTFORM METALS.</p> <p>METAL FLASHINGS:</p> <p>PREFINISHED SHEET METAL: FLAT BLACK.</p> <p>SIDING 1:</p> <p>WOOD OR "WOOD LOOK" HORIZONTAL SIDING; "CEDAR" COLOUR STAIN.</p> <p>SIDING 2:</p> <p>SMOOTH FACED HARDIE PANEL: "AGED PEWTER" COLOUR.</p>	<p>FASCIA BOARDS AND TRIM:</p> <p>1x10 WOOD OR CEMENT FIBER "CEDAR" COLOUR STAIN MATCHING HORIZONTAL SIDING 1.</p> <p>WINDOW FRAMES:</p> <p>BLACK VINYL.</p> <p>DOORS AND FRAMES:</p> <p>PAINTED OR PREFINISHED BLACK.</p>
--	---

MATERIALS SCHEDULE



<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>30 Apr., 2018</td> <td>Issued for review</td> <td>GW</td> </tr> <tr> <td>2</td> <td>11 May., 2018</td> <td>Revisions per client review</td> <td>GW</td> </tr> <tr> <td>3</td> <td>08 June, 2018</td> <td>Issued for development permit application</td> <td>GW</td> </tr> </tbody> </table>				NO.	DATE	DESCRIPTION	BY	1	30 Apr., 2018	Issued for review	GW	2	11 May., 2018	Revisions per client review	GW	3	08 June, 2018	Issued for development permit application	GW	<p>Phillipa Atwood Architect 5 Little Bear Way, Royston, BC 1 250-793-0433 c 250-218-0724 p@ppa@phillipaandjordan.com</p>	<p>COPYRIGHT This drawing is and remains the exclusive property of Phillipa Atwood, Architect AIBC, and cannot be reproduced or copied in any form or by any means (graphic, electronic or mechanical, including photocopying) without the written consent of Phillipa Atwood, Architect AIBC. Any license, express or implied, to use this document for any purpose whatsoever is restricted to the terms of the written agreement between Phillipa Atwood, Architect AIBC and Comox Moving and Storage Ltd.</p>	<p>PROJECT: COMOX MOVING AND STORAGE SITE DEVELOPMENT - 1690 RYAN ROAD EAST COURTENAY, BC</p>	<p>DRAWING NAME: PERSPECTIVE VIEWS. MATERIALS SCHEDULE.</p>	<p>FILE: 1213 - Comox Moving.dwg</p> <p>DRAWN BY: GW</p> <p>PROJECT NUMBER: 1213</p>	<p>SCALE: NO SCALE</p> <p>DATE: 29 April, 2018</p> <p>DRAWING NUMBER: DP-5 5 of 5</p>
NO.	DATE	DESCRIPTION	BY																						
1	30 Apr., 2018	Issued for review	GW																						
2	11 May., 2018	Revisions per client review	GW																						
3	08 June, 2018	Issued for development permit application	GW																						



Comox Valley Regional District
RECEIVED
 File: 3060-20/DP 11B18
 JUN 14 2018
 To:
 cc:

Commercial and industrial development permit area (Form and character)

85. *Justification*

This type of development occurs primarily along main roads and highways in the Comox Valley such as Ryan, Royston and Cumberland Roads and the Island Highway. As such, the

development along these corridors offers many visitors their first impression of the Comox Valley.

This land use also tends to occur as infill development in areas traditionally used as rural residential. As such, it is important that the potential for conflict with established residential properties be minimized.

The permit process will be used to ensure that adequate buffers are provided and to ensure that the development is attractive and coordinated with respect to form and character of the neighborhood.

Area

Those parcels zoned for commercial and/or industrial use under part 900 pursuant to the Comox Valley zoning bylaw, 2005 being bylaw no. 2781 as amended from time to time by the CVRD board.

Guidelines

Development permits shall be issued in accordance with the following guidelines.

Form and character

- (a) All buildings and structures shall be architecturally coordinated and shall give consideration to the relationship between buildings and open areas, circulation systems, visual impact and design compatibility with the surrounding development. Blank unarticulated walls will not be permitted.
- (b) The design and introduction of a new building type to a residential neighbourhood should provide harmony and lend continuity to the neighbourhood and should not create excessive disruption of the visual character of the neighbourhood.
- (c) Landscaping, awnings, lighting fixtures, and other structures shall be architecturally integrated with the design of the buildings.
- (d) Any end wall of a building that is visible from the street should be finished to the same standard as the front of the building to provide an attractive appearance.
- (e) The roof slope and siting of any buildings shall be such as to minimize any obstruction of direct sunlight falling onto adjacent properties and residences.

Landscaping

- (a) A landscape plan shall be required. The landscape plan shall be professionally prepared and shall:
 - i. include supporting documentary evidence pertaining to landscape specifications, irrigation requirements, detailed planting lists, cost estimates, and the total value of the work;
 - ii. identify existing vegetation by type and identify areas which are to be cleared; and
 - iii. provide for the landscape treatment of the entire frontage of the building site abutting onto existing or future public roads. Street specimen tree and grassed boulevard landscape provisions are to be identified to soften the

character and scale of the area. All proposed plant materials shall be suitable for local environmental conditions. All landscaping and screening shall be completed within 12 months of an occupancy permit being issued and shall meet or exceed the British Columbia Society of Landscape Architects and British Columbia Nursery Trades Association standards.

Construction phase

- (a) All construction must be completed according to a site/building plan and an erosion and sediment control plan.
- (b) Construction of developments within or adjacent to residential areas shall take place during the working hours of 7:00 a.m. to 7:00 p.m.
- (c) There shall be no dumping of any material or debris on any roads before, during or after site development.

Outside storage

- (a) The area of any building site bounded by the front lot line, the exterior or interior side lot lines, as the case may be, and the front building line of the structure nearest the front lot line, shall not be used as an outside storage area.
- (b) Any portion of a building site which may be used as an outside storage area shall only be used as such if:
 - i. the area is enclosed within a 2.5 metre high solid fence having a suitable security gate;
 - ii. none of the goods or materials stored therein exceed the height of the 2.5 metre high fence;
 - iii. the area is not directly adjacent to any residential development; and
 - iv. cases where the area lies between a structure and any public road, it is screened by an adequately landscaped buffer strip so that such storage areas are not readily visible from such public road.
- (c) Centrally located recycling facilities shall be provided for the use of all businesses with a development.

Screening

- (a) The character of developments shall be enhanced by landscaping of substantial proportions along property lines adjacent to residential developments. The developers shall provide a three metre buffer – incorporating existing native vegetation, supplemented by landscaping of substantial proportions utilizing approved specimen tree species. The required plantings shall recognize the need to protect adequate sight distances at intersecting streets.
- (b) Buildings shall be sited to ensure that any adjacent residential properties have visual privacy, as well as protection from site illumination and noise. Security and other lighting shall not be placed so as to shine directly into residential properties or to reduce the separation effectiveness of any landscaped buffer.

- (c) Such elements as roof top mechanical equipment, shipping and loading areas, transformers, and meters shall be screened from public view as effectively as possible through the use of evergreen landscaping materials, solid fencing, and building design.
- (d) All waste disposal bins shall be completely screened within a solid walled enclosure not less than two metres in height.
- (e) Loading and receiving areas shall be located so as to cause minimum disturbance to adjacent residential areas.

Parking

- (a) Large surface parking areas shall be broken down into smaller parking lots evenly dispersed throughout the development and integrated with planted landscaped areas. Visitor parking spaces should be clearly identified and provided within the development. Tree planting is encouraged in parking areas.
- (b) Parking areas should clearly identify pedestrian circulation areas, preferably with different paving and landscaping treatment.
- (c) All paved parking areas shall be included within the context of the required rainwater water plan and shall incorporate oil/water separators.
- (d) The use of any property within the development permit area shall not produce any off-site parking.
- (e) Developers are encouraged to incorporate site-parking requirements within the principal structures of their development.
- (f) Automobile parking areas shall be covered with a select granular base approved by MoTI and provide storm water controls by means of perimeter curtain drains. Access and egress points shall be paved for a minimum distance of 15 metres from the edge of the existing pavement into the subject property and be designed and constructed to MoTI standards. The shared use of a common access between businesses is encouraged.
- (g) Commercial and industrial buildings shall be located in close proximity to the front property line with the majority of parking spaces being situated at the rear and side of buildings.
- (h) Commercial and industrial buildings fronting shall be allowed to share one common interior wall (0.0 metre side yard setback) with an adjacent building.

Rainwater management

- (a) It is recognized that the clearing, grading and servicing of sites alters their natural hydrology patterns. In recognition of this fact, it shall be required that each development shall prepare a rainwater management plan that strives to protect water quality, and to maintain post-development peak flows to those of pre-development flow patterns and volumes over the entire water season. This rainwater plan shall be prepared by a professional engineer and should make use of such devices as permeable surface treatments, wet or dry detention ponds, constructed wetlands or

other devices as deemed suitable and consistent with best management practices.
rainwater runoff from storage areas shall be controlled to prevent contamination of watercourses.

- (b) The discharge of rainwater runoff from storage areas shall be accomplished with appropriate structures and flow control mechanisms to prevent contamination of receiving water bodies.

File: 3060-20/DP 17B 18

DATE: August 7, 2018

TO: Advisory Planning Commission
Lazo North (Electoral Area B)

FROM: Planning and Development Services Branch

RE: Industrial Development Permit – 1671, 1673 and 1675 Ryan Road East
Lenco Development Ltd., Fernco Development Ltd. and Norco Development Ltd.
Lot 1, District Lot 114, Comox District, Plan 2280, PID 006-412-335

The attached development proposal is for commission members' review and comment. An application has been received to consider an industrial form and character development permit for a property at 1671, 1673 and 1675 Ryan Road East (Figure 1). The subject property is a 3.7 hectare lot located in the Lazo North area (Electoral Area B). The property is bound by residential lots to the east, Town of Comox to the south, commercial and residential lots to the west, and commercial and industrial lots across Ryan Road East to the north. Currently, the property has two industrial light spec buildings and three mini-storage buildings on the northern half of the lot (Figure 2).

On June 26, 2018, the Comox Valley Regional District (CVRD) Board rezoned the southern half of the lot from Country Residential One (CR-1) to Industrial Light (IL) zone. This rezoning resolved the split zoned situation and enabled the applicant to expand their light industrial uses. The entire property is now zoned IL. With this recent approval, the applicant submitted an industrial development permit application to expand their mini-storage business with three new mini-storage buildings, labeled as Buildings I, J and K on Figure 3. According to the applicant, these proposed buildings will be constructed in a similar form and character as the existing mini-storage buildings (Figures 4 to 6). The proposed buildings will be between approximately 557 square metres to 650 square metres in floor area. Each building will be constructed as steel buildings and include metal cladding and metal roofs. The exterior walls of the buildings will be "fox grey," and the overhead doors will be white and the roof will be galvanized in colour.

The applicant submitted a landscape plan (Figure 7), which features a 3 metre landscape buffer around the property to create screening for the neighbours. The existing trees and vegetation will remain and will be supplemented by additional 10 Maple and 69 Cedar trees. There will also be a 1.8 metre high chain link fence.

For the future ministorage buildings, the applicant will submit separate development permit applications. The APC members will have opportunities in the future to review and provide comments.

Thank you.

Sincerely,

A. Mullaly

Alana Mullaly, M.Pl., MCIP, RPP
Manager of Planning Services
Planning and Development Services Branch

/bc

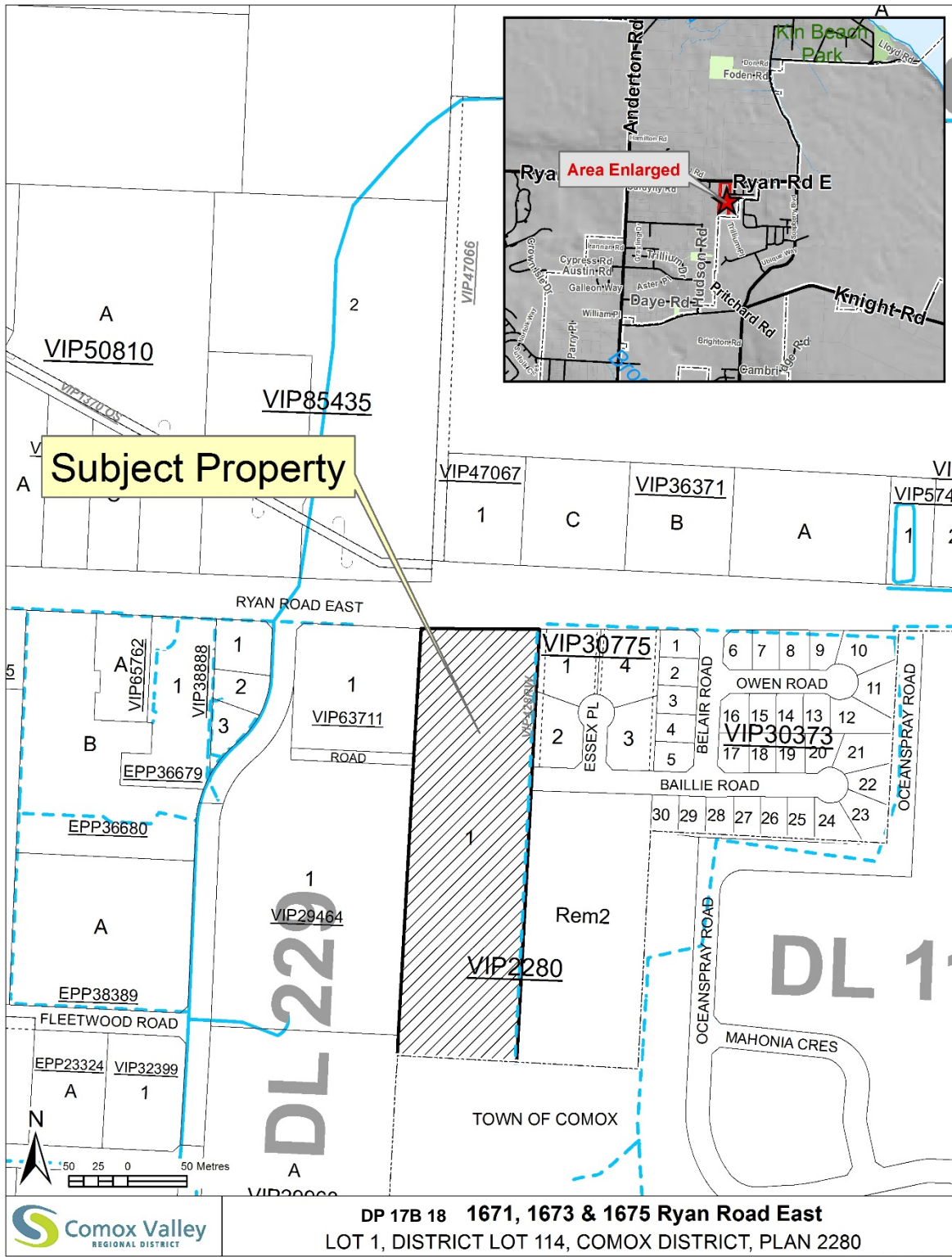
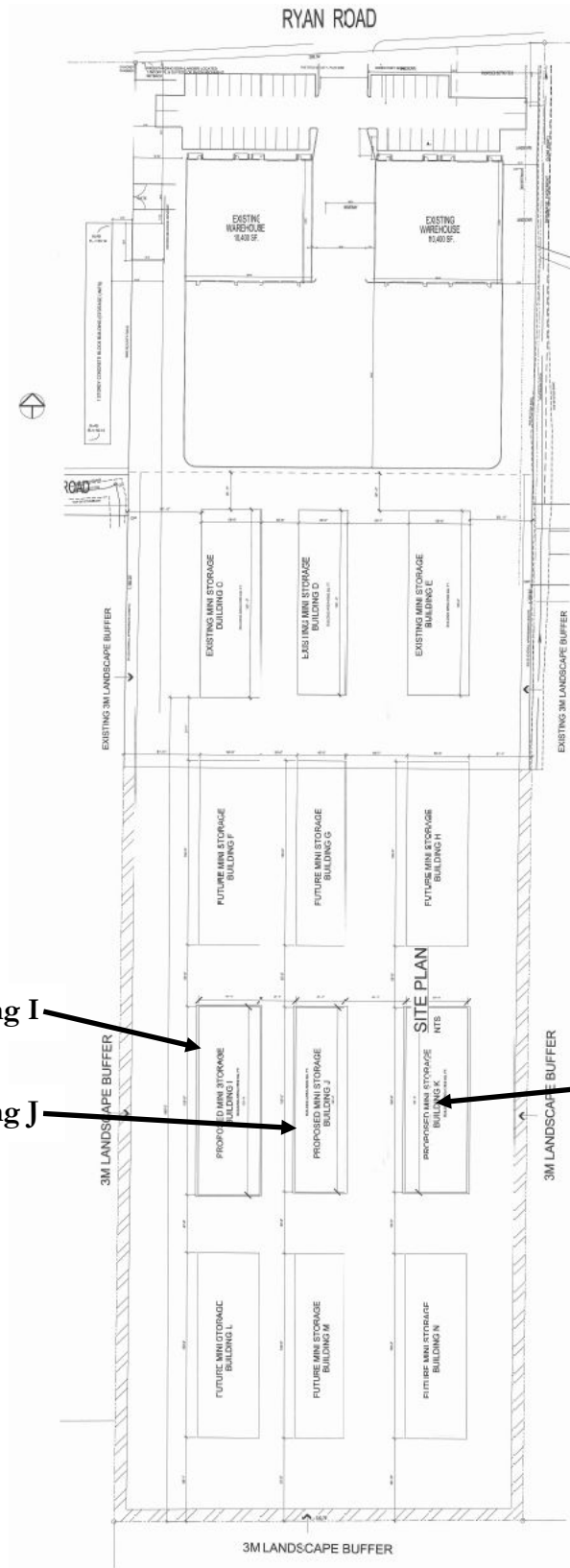


Figure 1: Subject Property Map



Figure 2: Air Photo



Building I

Building J

Building K

Figure 3: Site Plan

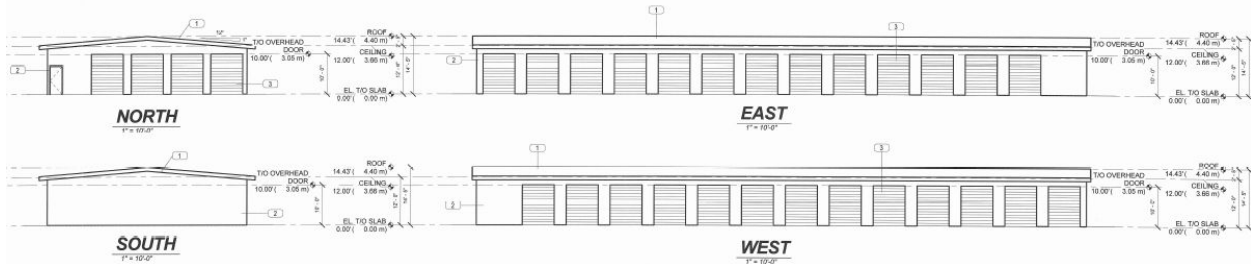


Figure 4: Building I Elevations

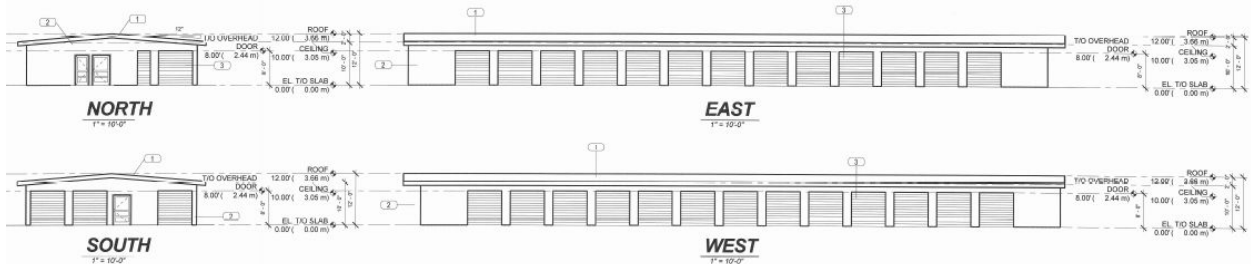


Figure 5: Building J Elevations

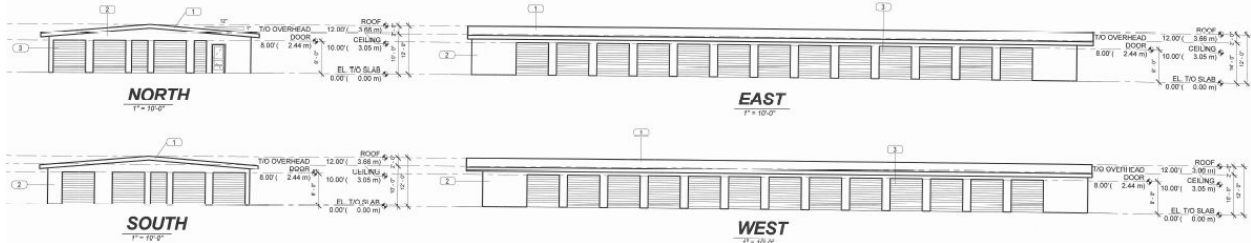


Figure 6: Building K Elevations

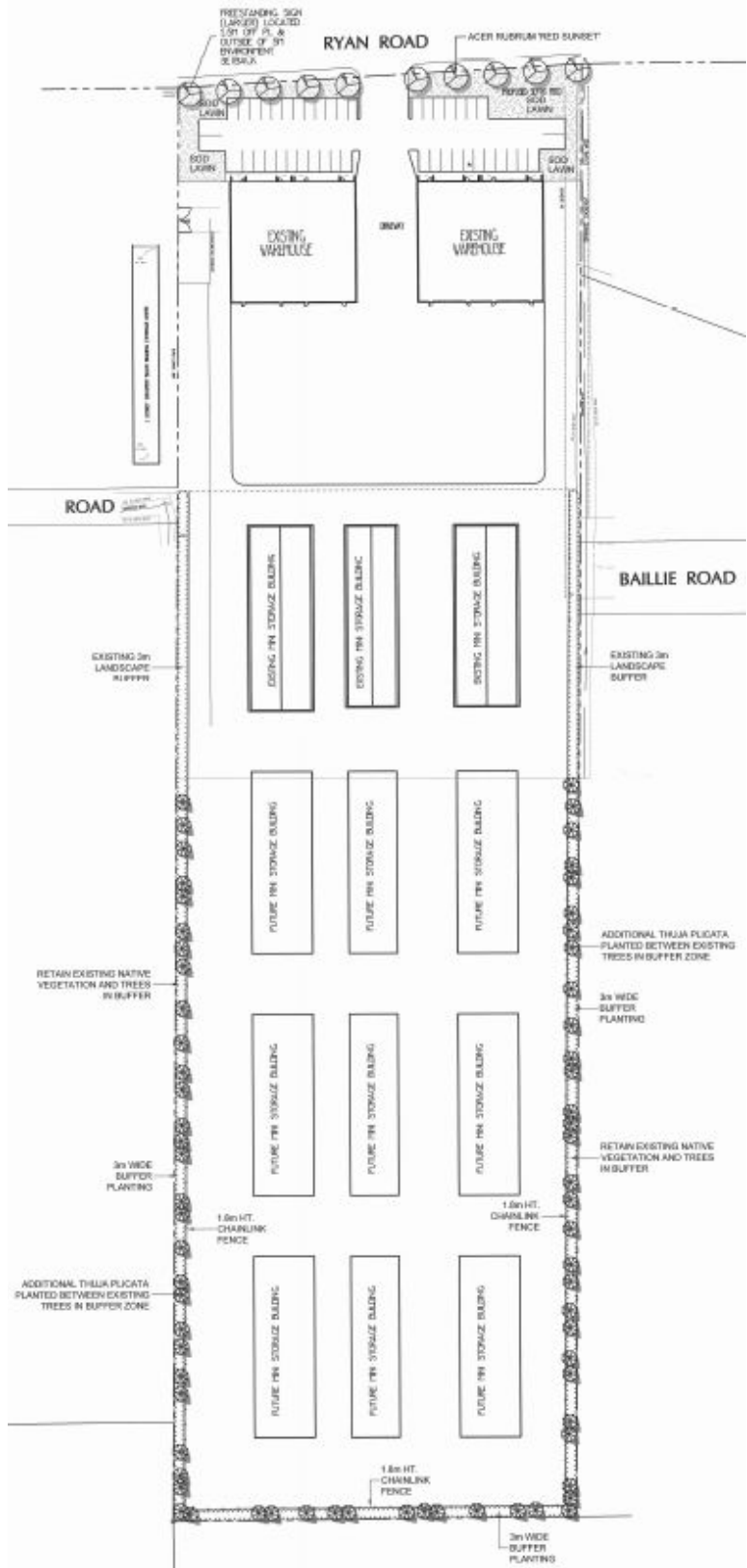


Figure 7: Landscape Plan

Memo

File: PJ 1B 18

DATE: August 9, 2018

TO: Advisory Planning Commission
Lazo North (Electoral Area B)

FROM: Planning and Development Services Branch

RE: Proposed Telecommunication Tower – 1901 Larch Road (Freedom Mobile Inc.)
Lot 31, Block 71, Comox District, Plan 2261, except various plans

The attached development proposal is for commission members' review and comment. The proponent has requested a resolution stating that the Comox Valley Regional District Board is satisfied with public consultation process that has taken place, does not require any further consultation with the public, and that it concurs with the proposal to construct the tower as proposed.

Freedom Mobile Inc. is proposing to locate a telecommunication tower at 1901 Larch Road (Figure 1 and 2), adjacent to the Seal Bay Nature Park. The facility would consist of eight panel antennas and four microwave dishes mounted on a single 35 metre tall monopole tower with associated ground-level equipment, surrounded by an 8 metre by 8 metre fenced area. The facility would provide that company the ability to provide wireless communication coverage in that area (Appendix A).

Innovation, Science and Economic Development Canada (Industry Canada) is the regulating agency responsible for such towers. For any new permanent towers over 15 metres in height, proponents must follow Industry Canada's Default Public Consultation Process, although they allow local land-use authorities to provide alternative consultation requirements for the purposes of facilitating the implementation of local radio communication services. The Default Public Consultation Process requires a notification package be sent to the land use authority (Comox Valley Regional District), to property owners within a radius of three times the tower's height (105 metres) and notice is to be published in the local community newspaper. The proponent has documented this in their submission (Appendix A), including their provision of the notification package to CVRD staff on March 28, 2018, summary presentation to the Electoral Area Services Committee on May 14, 2018, notification letter dated May 30, 2018, and newspaper advertisements in the June 5 and 12 editions of the Comox Valley Record.

Official Community Plan

In the Official Community Plan's Infrastructure section, Policies 25(5) and (6) state:

- “(5) Require telecommunication proponents to identify co-location opportunities prior to siting new infrastructure such as new self-support telecommunication towers.*
- (6) Require a public information meeting for any new proposed self-support telecommunication towers.”*

Related to the Official Community Plan policies, the proponent held a public information meeting (June 27 at the Seal Bay RV Park) and identified co-location facilities being used (seven of their eight Comox Valley facilities are proposed to be co-located on existing developments) and that no such opportunity for co-location exists in the subject coverage area (Appendix A).

Zoning

The property is zoned Rural-Agricultural Land Reserve. Telecommunication towers are federally regulated under the *Radiocommunications Act* and are not subject to local government zoning.

Agricultural Land Reserve

Pursuant to Section 3(1)(m) of the Agricultural Land Reserve (ALR) Regulations, a telecommunication site under 100 square metres, including all associated equipment, buildings and installations, is a permitted non-farm use within the ALR. The proposed 64 square metre site is permitted within the ALR.

Next Steps

The required consultation period has ended and the proponents have submitted the attached summary of comments and responses (Appendix A). Because the Comox Valley Regional District maintains the additional consultation policies, which are beyond the Default Public Consultation Process, Industry Canada requires the proponent to “obtain land-use authority concurrence in writing”. The concurrence must come from the committee responsible for land use and acknowledge that the relevant local government process or other requirements have been satisfied. Specifically, the proponent has requested a resolution stating that the Comox Valley Regional District Board is satisfied with Freedom Mobile’s public consultation process, does not require any further consultation with the public, and that it concurs with the proposal to construct the tower as proposed.

Sincerely,

A. Mullaly

Alana Mullaly, MCIP, RPP
Acting General Manager of Planning and Development Services Branch

\jm

Attachments Appendix A – “Request for Concurrence for a Freedom Mobile Wireless Communications Facility Proposal, dated July 18, 2018”

Comox Valley Regional District

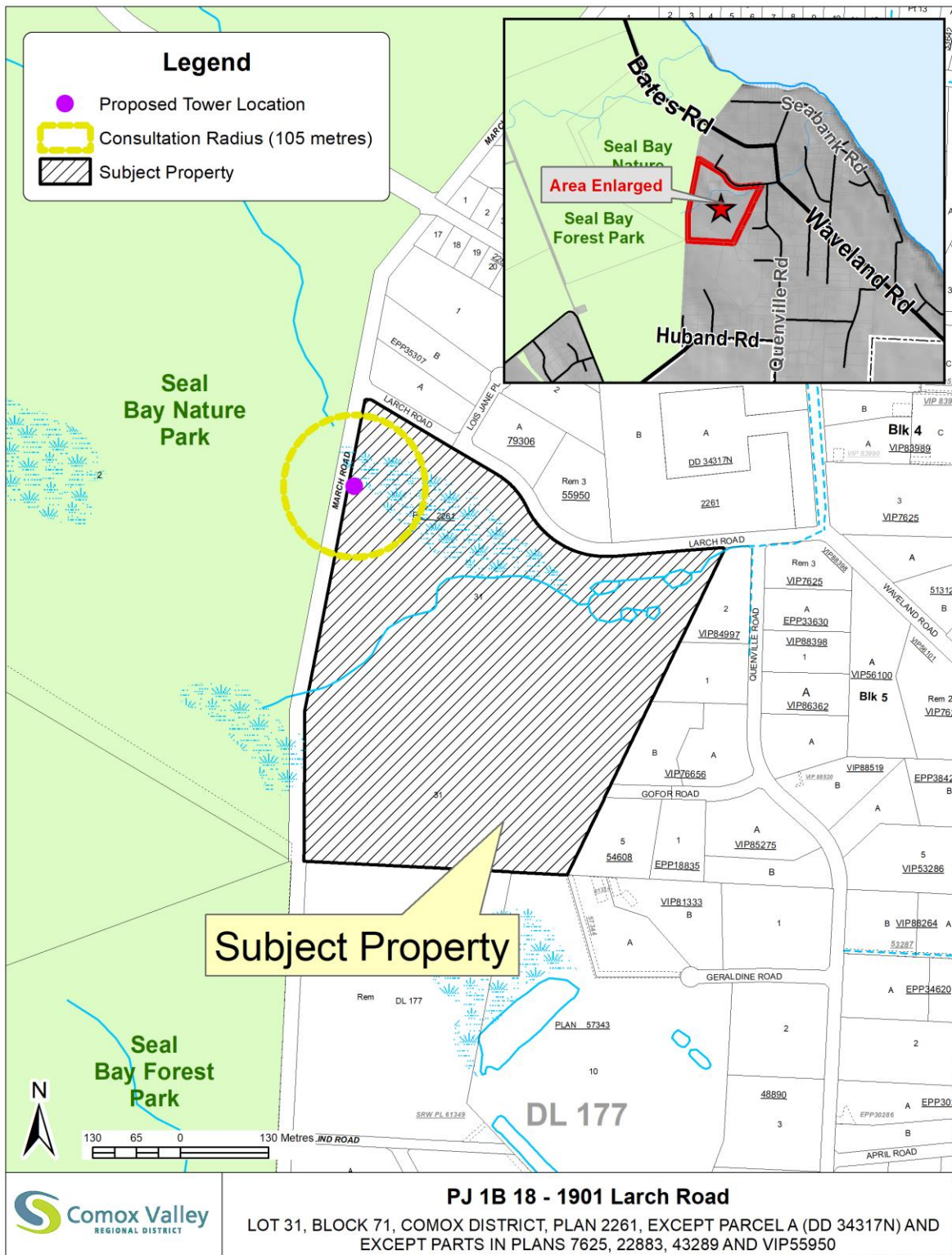


Figure 1: Subject Property

Comox Valley Regional District

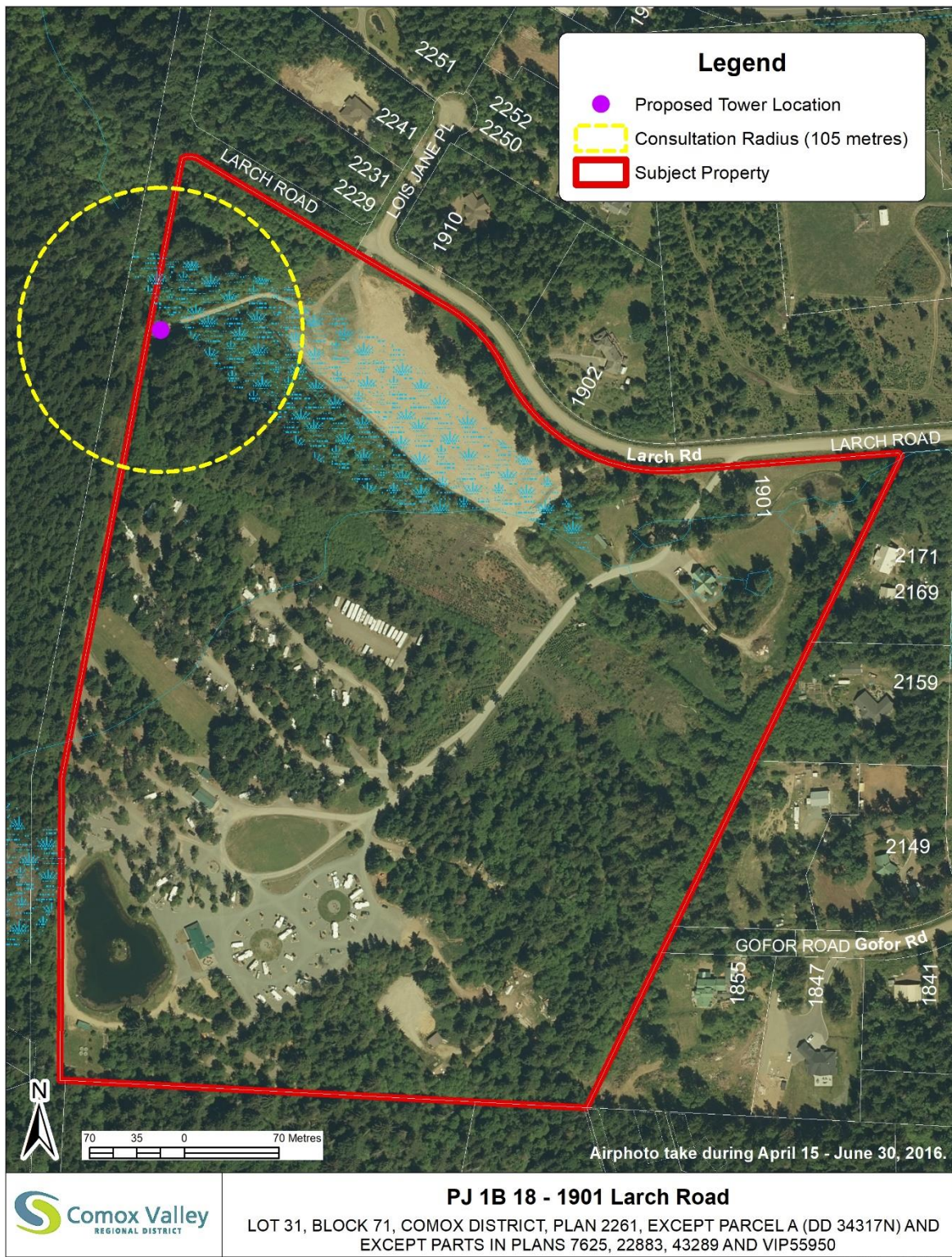


Figure 2: Air Photo (2016)

Comox Valley Regional District

July 18, 2018

Via Email: amullaly@comoxvalleyrd.ca

Alana Mullaly
Manager of Planning Services
Planning and Development Services Branch
Comox Valley Regional District
600 Comox Road
Courtenay, BC V9N 3P6

Dear Ms. Mullaly:

Subject: Request for Concurrence for a Freedom Mobile Wireless Communications Facility Proposal

Freedom Mobile Site:	BCC0001A
Proposed Location:	1901 Larch Road, Courtenay, BC V9J 1X7 (Comox Valley)
Description:	35.0 metre monopole

Please be advised that Freedom Mobile c/o Cypress Land Services Inc. has completed the public consultation process, following Innovation, Science and Economic Development Canada (ISED), formerly Industry Canada, Default Public Consultation Process. Freedom Mobile is respectfully requesting, from the Comox Valley Regional District Board, that concurrence be issued for the Freedom Mobile tower proposal in an effort to provide Freedom Mobile wireless communications services. Enclosed please find evidence of the following efforts regarding this public consultation process.

On March 28, 2018, an information package was submitted to the Comox Valley Regional District formalizing the initiation of the consultation process (please see **Appendix 1: Information Package**).

On May 30, 2018, notification letters were sent to residents and other affected parties within a radius of three times the height of the proposed tower (105 metres). The notification letter was to advise residents of the proposed installation and to offer an opportunity to obtain additional information and provide comments (please see **Appendix 2: Affidavit of Notification**).

A newspaper notice was placed in the June 5th edition of the Comox Valley Record, inviting the community to comment on the proposal. On June 12th, another newspaper notice was placed in the edition of the Comox Valley Record, inviting the community to a Public Meeting (please see **Appendix 3: Newspaper Tear Sheets**).

On June 27, 2018, a Public Meeting was held in the Common Room at the Seal Bay RV Park and Campground located at 1901 Larch Road, Courtenay, BC. The only person to attend was Jodi MacLean, Rural Planner at the Comox Valley Regional District (please see **Appendix 4: Meeting Sign in Sheet**).

On June 5, 2018 the consultation period ended. During the consultation period, Cypress Land Services received four comments of support and one comment of non-support (please see **Appendix 5: Comments & Responses Tracker**).

Freedom Mobile is committed to working with the community and staff to supply Freedom Mobile wireless services to the north Courtenay area. If the Board concurs with the proposed wireless communications facility project, please find in **Appendix 6: Sample Resolution**, a sample resolution which may be used. Should you require any additional information, please do not hesitate to contact us 604-620-0877 or by e-mail at chad@cypresslandservices.com.

Sincerely,

Chad Marlatt
Government Affairs Manager



Cypress Land Services
Agents for Freedom Mobile

Appendix 1: Information Package

March 28, 2018

Via Email: amullaly@comoxvalleyrd.ca

Alana Mullaly, MCIP RPP

Manager of Planning Services, Planning and Development Services Branch

Dear Ms. Mullaly:

Subject: Freedom Mobile Telecommunications Facility Proposal
Information Package
Address: 1901 Larch Road, Courtenay, BC V9J 1X7 (Comox Valley)
Legal: PID: 000-076-155
Coordinates: N 49.753033°, W 124.965116°
Freedom Mobile Site: BCC0001A

Overview

Cypress Land Services, in our capacity as agent to Freedom Mobile, is submitting this information package to formalize the consultation process related to the installation and operation of a telecommunications facility. We have been in preliminary consultation with the Comox Valley Regional District (CVRD) regarding the installation. Freedom Mobile plans to launch its wireless services in the CVRD/Courtenay/Comox area and is proposing this installation in order to provide dependable wireless services. This information package is intended to formalize the consultation process.

Proposed Site

The subject property is located at 1901 Larch Road in Courtenay, BC within the Lazo North electoral area. The property is zoned RU-ALR, TC-2, is located with the Agriculture Land reserve (ALR) and consists of a large RV Motorhome complex. The installation consists of a monopole, 35.0 metres in height, with four (4) flush mounted panel antennas and four (4) microwaves. The facility is proposed to be installed on the northern portion of the property next to an existing access road. Please see **Schedule A: Tower Site Location**.

Rationale for Site Selection

Freedom Mobile seeks to provide high quality, dependable wireless communications services through the launch of its network. When a telecommunications carrier is determining a location for new wireless installation it must consider a number of factors to ensure the new installation operates effectively and results in reliable wireless services for the immediate community. Some of the considerations include frequency of operation, local topography, patterns of wireless

users, building heights, road patterns, availability of land and existing structures. Freedom Mobile reviewed collocation options on nearby tower sites and unfortunately there are no nearby towers able to accommodate Freedom Mobile's equipment. The closest tower is located approximately 2.5 km northeast of the proposed site which is too far from the area requiring service upgrades.

Availability of a willing property owner is a major consideration; Freedom Mobile has entered into a long-term agreement with the property owner to permit the installation. The property itself is large and has a number of mature trees enabling the facility to be well setback from neighbouring properties and well screened to minimize visibility of the pole.

Tower Proposal Details

A slim line monopole design with flush mounted panel antennas is proposed in order to create a monopole with minimal visual impact and will be surrounded by mature trees that will screen a large portion of the pole. Freedom Mobile has completed preliminary design plans (**Schedule B: Preliminary Plans**). These preliminary design plans are subject to final engineered design, land survey and approval of Transport Canada. Transport Canada approval may require tower lighting and/or marking. The photo-simulations area for conceptual purposes only.

Consultation Process with the CVRD

It is our understanding that the CVRD does not have an adopted Telecommunications policy. Innovation, Science and Economic Development Canada (ISED), formerly Industry Canada, requires all proponents to consult with the local land use authority and public, notwithstanding that ISED has exclusive jurisdiction in the licensing of telecommunication sites, such as the proposed tower. Following ISED's requirements, Freedom Mobile would like to initiate Default Public Consultation Process (as described in the Industry Canada circular, CPC-2-0-03, issue 5, commonly referred to as the "CPC"). Information on the "CPC" consultation process may be found on-line at: <http://www.ic.gc.ca/eic/site/smt-gst.nsf/eng/sf08777.html>.

In order to obtain comments, concerns or questions in regard to the proposed tower site, the CPC requires Freedom Mobile to send out notification packages to all properties located within three times the height of the proposed tower. We estimate there are 4 private properties located within the required notification radius. A notice will also be placed in the local paper. This comment period is a minimum of 30 days. We expect the public consultation process to commence in April 15, 2018.

At the conclusion of the consultation process, freedom mobile will prepare a summary of comments received from the community as well as the replies provided by Freedom Mobile. Freedom Mobile is requesting that, subsequent to the completed consultation process and report to the Board, a letter or resolution of concurrence will be issued by the CVRD Board.

Health and Safety

Health Canada's Safety Code 6 regulations are applicable to this, and all, telecommunications sites. Safety Code 6 seeks to limit the public's exposure to radiofrequency electromagnetic fields and ensures public safety. Additional information on health and safety may be found on-line at: Health Canada: http://www.hc-sc.gc.ca/ewh-semt/pubs/radiation/radio_guide-lignes_direct-eng.php

Concurrence Requirements

In order to complete the consultation process, Freedom Mobile will be requesting concurrence from the CVRD in a form acceptable to both the CVRD Board and to ISED. We understand that, subsequent to the required public consultation process and a Council decision, the CVRD Board would be providing a letter of resolution.

Conclusion

Please consider this information package as the official commencement CPC default consultation process. Freedom Mobile is committed to working with the CVRD in determining an appropriate location and design for a telecommunications tower that will provide wireless communication services.

We look forward to working together during this process. Please do not hesitate to contact us by phone at 604-620-0877 or by email at Chad@cypresslandservices.com.

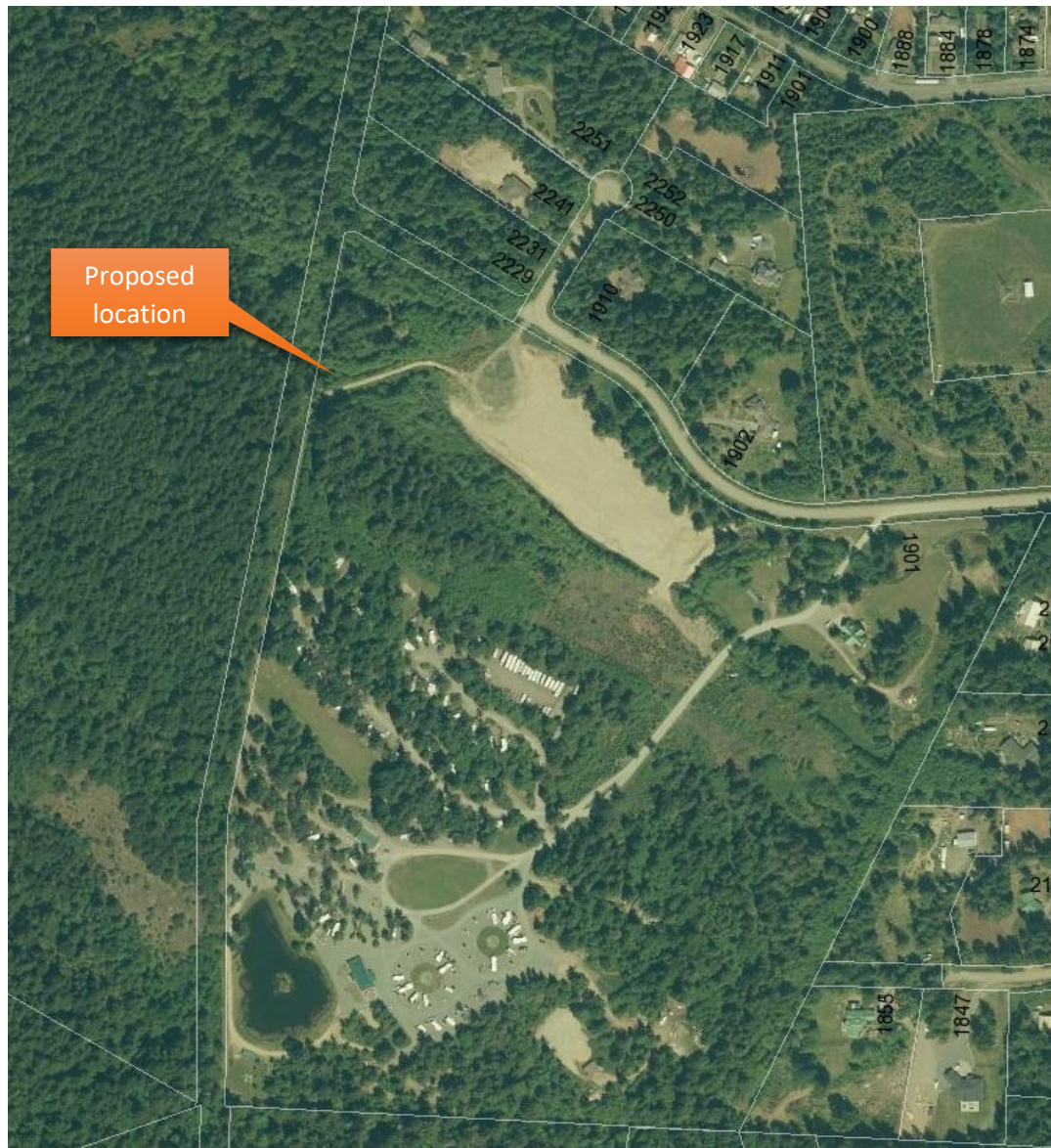
Thank you in advance for your assistance and consideration.

Sincerely,
CYPRESS LAND SERVICES
Agents for Freedom Mobile

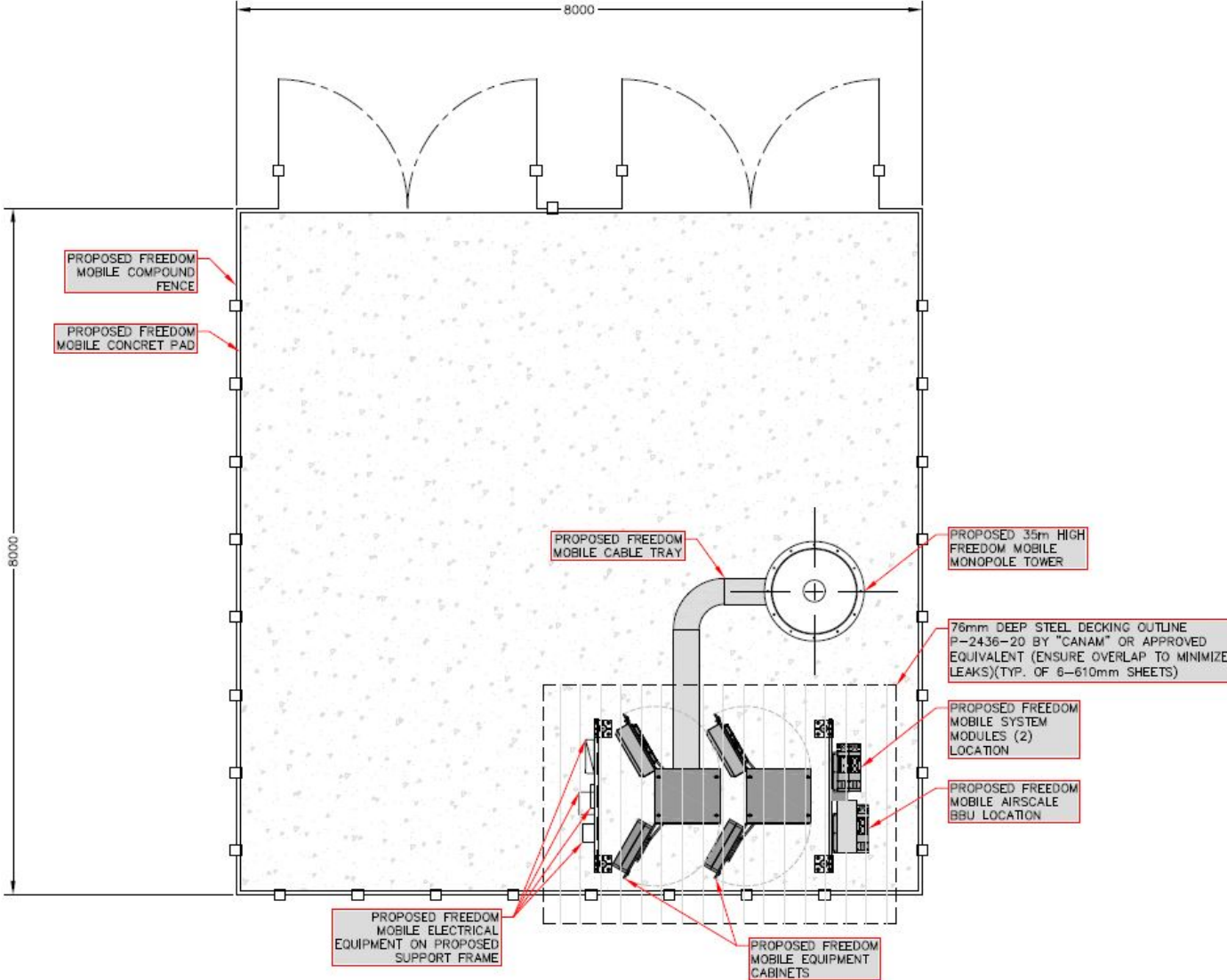
Chad Marlatt
Municipal Affairs Specialist

cc: Ryan McKeown, Real Estate Supervisor, Freedom Mobile

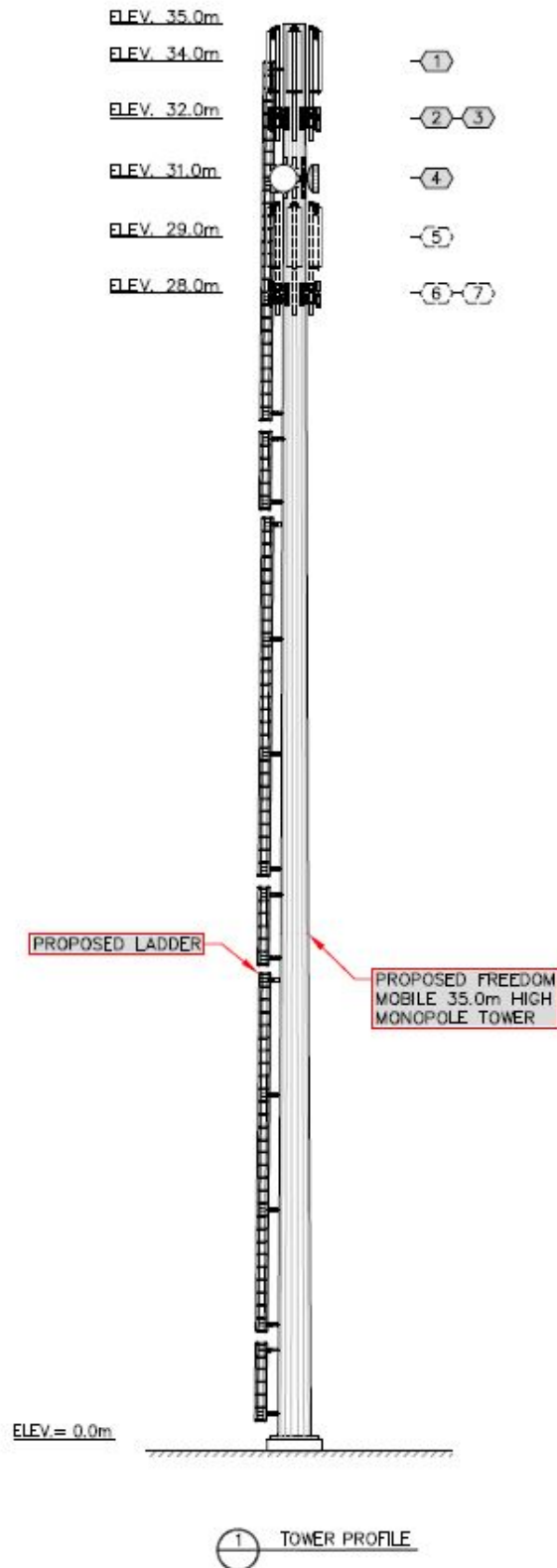
SCHEDULE A TOWER SITE LOCATION



**SCHEDULE B
PRELIMINARY PLAN – COMPOUND PLAN**



**SCHEDULE B
PRELIMINARY PLAN – TOWER PROFILE**




Appendix 2: Affidavit of Notification

Affidavit of Cypress Land Services

I, Tawny Verigin, Municipal Affairs Specialist, in the City of Vancouver in the Province of B.C., make an Oath and say:

1. THAT I caused to be sent by regular mail, a notification letter, as included in Appendix A, to property owners, occupants and other recipients, as listed in Appendix B, on May 30, 2018.



Tawny Verigin, Municipal Affairs Specialist
Cypress Land Services

Sworn/Affirmed/Declared before me at the City of Vancouver, in the Province of B.C., this 30th day of May 2018.



(Commissioner's Signature)

A Commissioner for Taking Affidavits for the Province of B.C.

Patrick Henry Grzelak
A Commissioner for Taking Affidavits
For British Columbia
Cypress Land Services Inc.
1051 - 409 Granville Street
Vancouver, BC V6C 1T2
Tel: 604-674-2808
Expires on: December 31, 2020

(Commissioner's stamp or printed name and expiry date)

Appendix A: Notification Letter

Invitation for Public Input
Proposed Freedom Mobile 35.0 metre Monopole Wireless Communications
Facility Located at 1901 Larch Road, Courtenay, BC

Dear Neighbour,

Freedom Mobile ("Freedom") is striving to provide high quality wireless communications services to Canadians. Increasingly, Canadians depend on wireless voice, data and internet communications for business, personal enjoyment and personal security reasons. Freedom is actively planning its network build for the launch of Freedom wireless services in the CVRD/Courtenay/Comox areas. In order to launch its network Freedom requires the installation of new wireless communication facilities whether on existing infrastructure or purpose built. One of the new sites is proposed to be installed on private lands at **1901 Larch Road, Courtenay, BC (PID: 000-076-155)**. Freedom has commenced consultation in accordance with Innovation, Science and Economic Development Canada (ISED's), formerly Industry Canada's, CPC-2-0-03 — Radiocommunication and Broadcasting Antenna Systems client procedures circular.

PROPOSAL DETAILS:

Freedom is proposing to install a 35.0 metre monopole tower at **1901 Larch Road, Courtenay, BC**. The property is zoned RU-ALR, TC-2, is located with the Agriculture Land reserve (ALR) and consists of a large RV Motorhome complex. The installation consists of a monopole, 35.0 metres in height, with eight (8) flush mounted panel antennas and a four (4) microwave dishes. The equipment compound containing two (2) accessory equipment cabinets with a concrete equipment pad will be located at the base of the monopole enclosed in chain-link fence and will occupy an area of 8.0 metres x 8.0 metres. The monopole is required to support Freedom's antennas in order to provide wireless communication network service within a few kilometres of the proposed location.

REGULATORY AUTHORITY:

Telecommunication providers are required by Innovation, Science, and Economic Development Canada (ISED), formerly Industry Canada, to consult with the local municipality and the general public regarding new installations. ISED does have exclusive jurisdiction over the approval and placement of telecommunications installations. The Comox Valley Regional District (CVRD), does not have a telecommunications policy. Therefore, Freedom will be following the CPC-2-0-03 — Radiocommunication and Broadcasting Antenna Systems client procedures circular, as mandated by ISED.

The consultation process will provide an opportunity for residents, stakeholders and landowners to obtain detailed information regarding the proposal and to provide comments for consideration. Any inquiries that are received as a result of this notification will be logged and submitted to the CVRD and ISED as part of our application for concurrence.

This letter provides written notification to adjacent landowners and stakeholders within a radius of three (3) times the height of the proposed structure with an opportunity to engage in reasonable, relevant, and timely communication regarding this proposal. You have received a copy of this notification package because your property, or a property you have an interest in, is located within 105.0 metres or less from the proposed installation. The closing period for written comments regarding the proposal is July 5, 2018. Any inquiries that are received as a result of this notification will be logged and submitted to the CVRD.

For additional and detailed information regarding CPC-2-0-03 — Radiocommunication and Broadcasting Antenna Systems client procedures circular, please go on-line to: <http://www.ic.gc.ca/eic/site/smt-gst.nsf/eng/sf08777.html>

Purpose

The purpose of the proposed facility is to help Freedom provide wireless coverage in northern Courtenay/Comox. Currently, there are no existing antenna support structures or other feasible infrastructure that can be utilized; as a result, this new antenna support structure is required. An aerial photo of the proposed location and a photo-simulation of the proposed tower is included as part of this notification package.

Location

The pole will be located at the coordinates **N 49.753033°, W 124.965116°**. It is proposed to be located at **1901 Larch Road, Courtenay, BC** in the northwest corner of the property.

Health & Safety of Wireless Facilities

ISED manages the radio communications spectrum in Canada and requires cellular telecommunications facilities to comply within the guidelines set by Health Canada in order to protect people who live or work near these facilities. These Health Canada safety guidelines are outlined in their 'Safety Code 6' document and are among the most stringent in the world. All Freedom facilities adhere to and are generally well within these standards. Freedom attests that the radio installation described in this notification package will be installed and operated on an ongoing basis so as to comply with Health Canada's Safety Code 6 for the protection of the general public including any combined effects of nearby installations within the local radio environment.

Site Access

Access is existing through the property. Construction is anticipated to take 30 to 45 days. Once complete, the site will only be accessed for routine maintenance visits which typically occur once or twice a month. To safeguard the site from the general public, the tower base and equipment shelter will be enclosed by a fence.

Environment

Freedom confirms that the installation is excluded from environmental assessment under the Canadian Environmental Assessment Act.

Design

This proposal is for a 35.0 metre monopole with eight (8) flush mounted antennas, four (4) microwave dishes and two (2) accessory equipment cabinets on a concrete pad within a chain-link fenced compound area, occupying an area of 8.0 metres x 8.0 metres. A preliminary design of the site plan, compound plan and monopole profile are included in this notification for your reference.

Transport Canada

The pole will be marked in accordance with the Transportation Canada and NAV Canada requirements. Comments are pending.

Structural Considerations

Freedom confirms that the antenna structure described in this notification package will apply good engineering practices including, structural adequacy during construction. The facility will be built to the National Building Code as well as the BC Building Code.

Local Municipality

The CVRD, does not have a telecommunications policy. Therefore, Freedom will be following the CPC-2-0-03 — Radiocommunication and Broadcasting Antenna Systems client procedures circular, as mandated by ISED.

General Information

General information relating to antenna systems is available on ISED's Spectrum Management and Telecommunications website:

http://www.ic.gc.ca/eic/site/smt-gst.nsf/en/h_sf01702e.html

Contacts

Freedom Mobile

c/o Tawny Verigin of Cypress Land Services Inc.

Agents for Freedom Mobile

Suite 1051, 409 Granville Street

Vancouver, BC V6C 1T2

Telephone: 1-855-301-1520

Fax: 604-620-0876

Email: publicconsultation@cypresslandservices.com

Comox Valley Regional District

Alana Mullaly, MCIP RPP

Manager of Planning Services

Planning and Development Services Branch

Email: amullaly@comoxvalleyrd.ca

ISED

Vancouver Island Office

1230 Government Street, Room 430

Victoria BC V8W 3M4

Tel: 250-363-3803

Fax: 250-363-0208

Email: ic.spectrumvictoria-victoriaspectre.ic@canada.ca

(By appointment only)

Aerial Photo

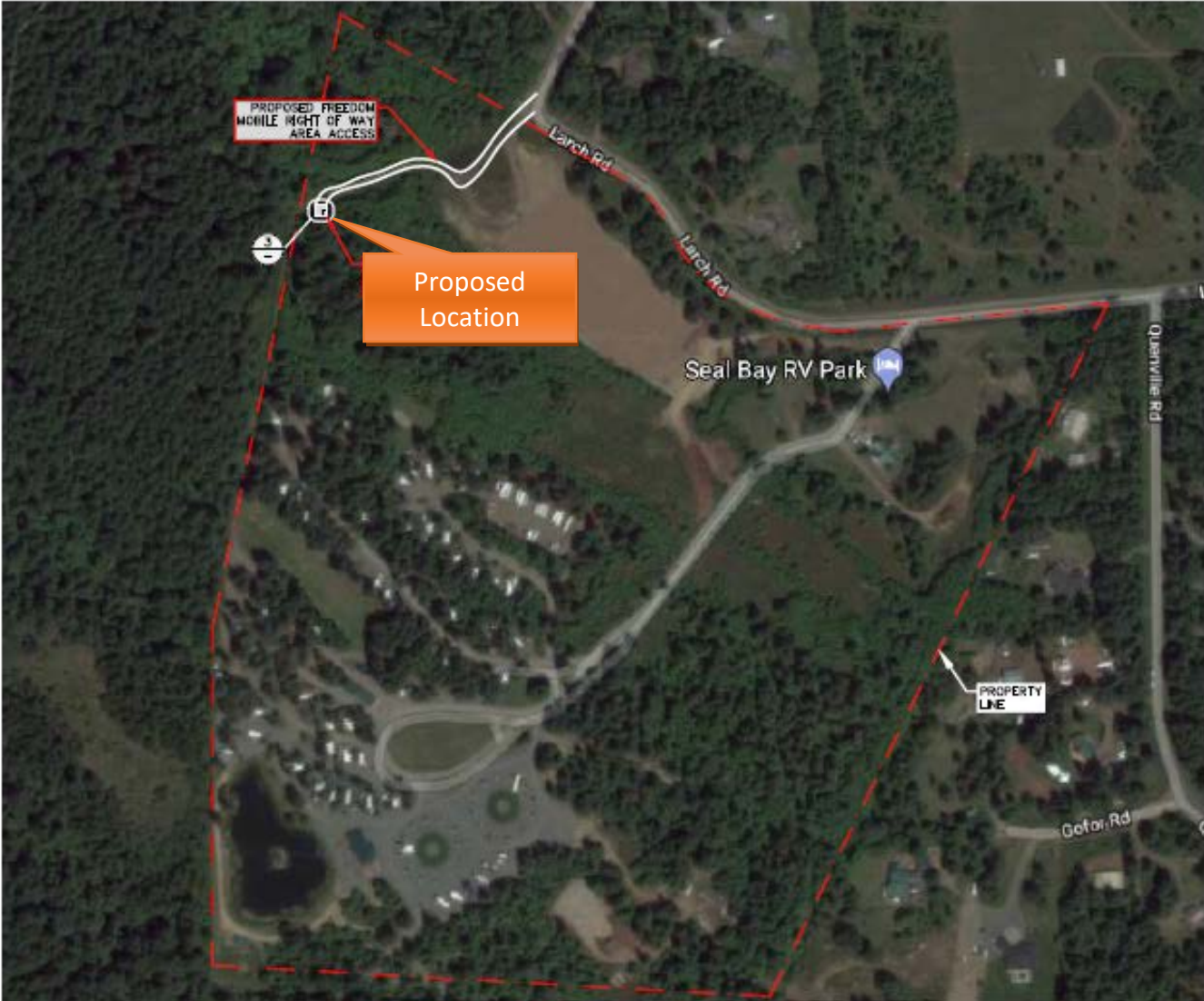


Photo Simulations

View: Looking West – Painted Green



View: Looking West - Unpainted

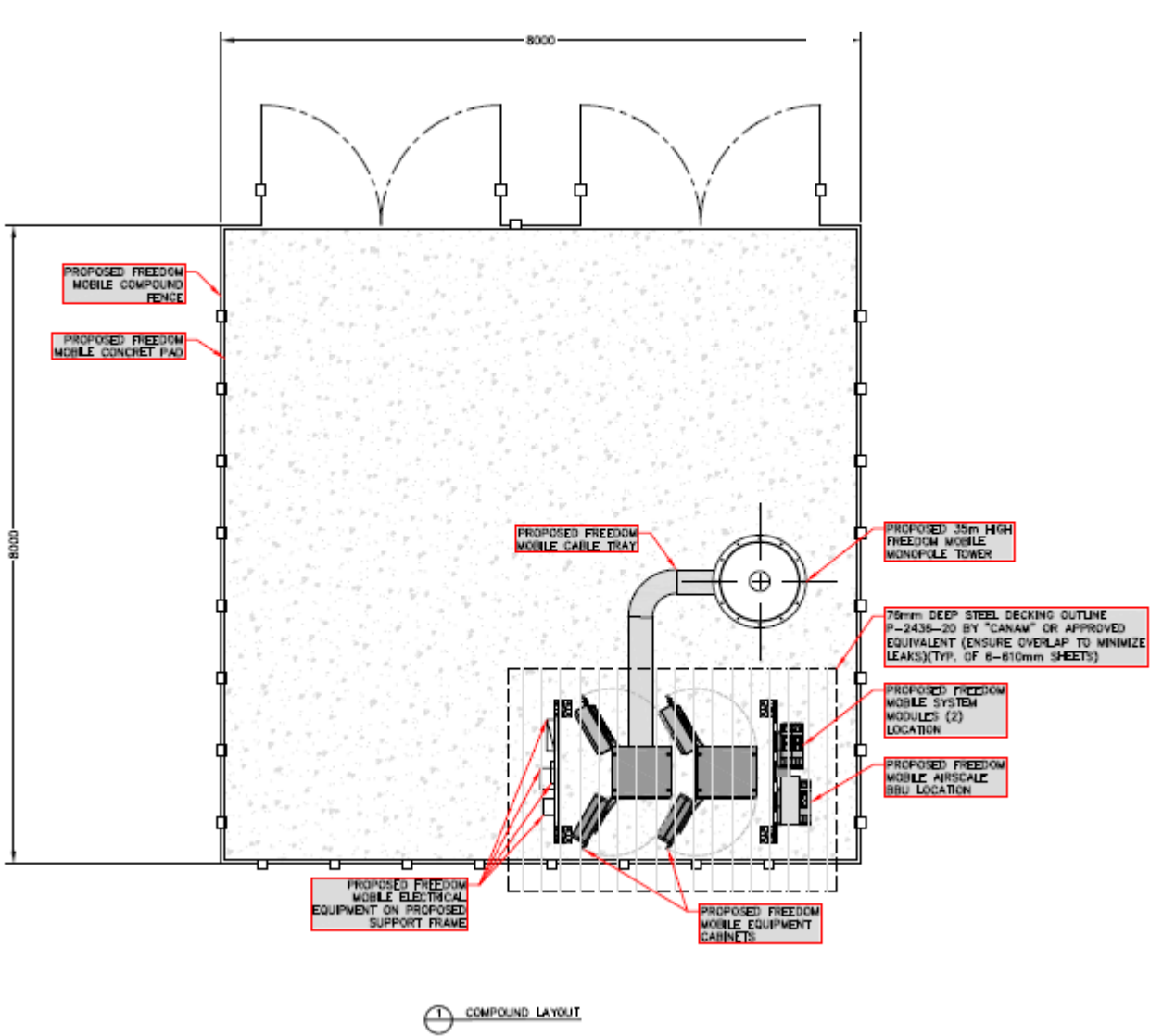


Site Plan

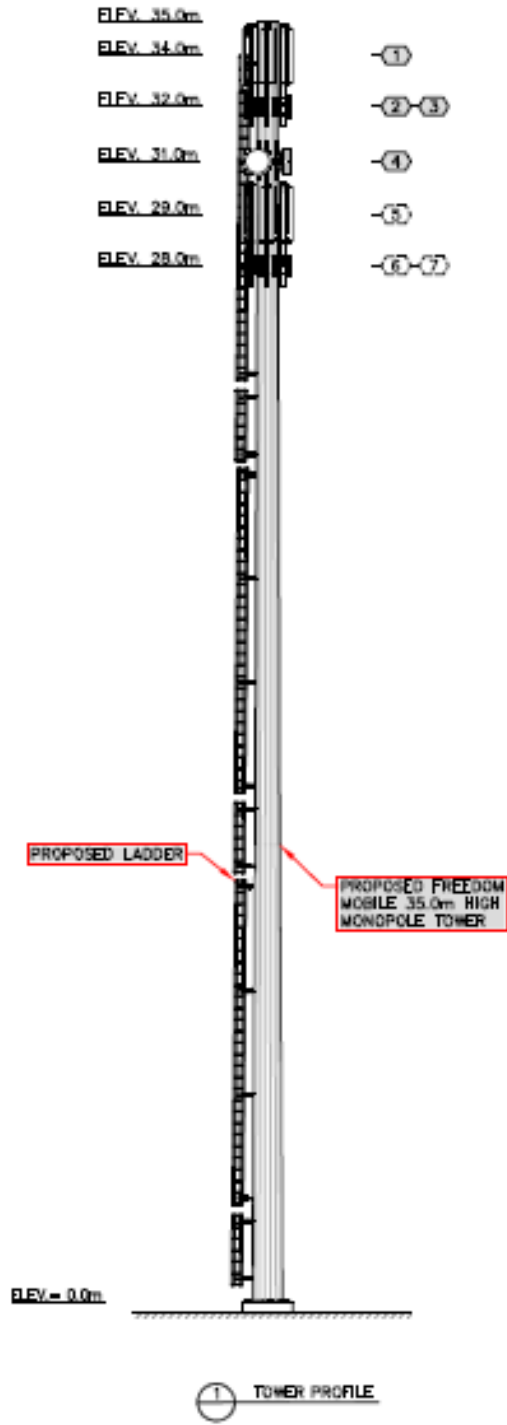


1 SITE PLAN

Compound Layout



Tower Profile



**COMMENT SHEET
PROPOSED RADIOCOMMUNICATIONS TOWER
1901 LARCH ROAD, COURTENAY, BC
FREEDOM MOBILE SITE: BCC0001A**

1. Do you feel this is an appropriate location for the proposed facility?

- Yes
 No

Comments _____

2. Are you satisfied with the appearance / design of the proposed facility? If not, what changes would you suggest?

- Yes
 No

Comments _____

3. Additional Comments

Please provide your name and full mailing address if you would like to be informed about the status of this proposal. This information will not be used for marketing purposes; however, your comments will only be used by Freedom Mobile in satisfying Innovation, Science, and Economic Development Canada (ISED)'s CPC 2-0-03 default consultation process. The closing period for comments to be received by Freedom Mobile is July 5, 2018.

Name _____
(Please print clearly)
Email Address _____
Mailing Address _____

**Freedom Mobile c/o Cypress Land Services Inc.
Suite 1051, 409 Granville Street, Vancouver, BC V6C 1T2
Attention: Tawny Verigin, Municipal Affairs Specialist**

Thank you for your input.

Appendix B: List of Property Owners, Occupants and Other Recipients

PAUL GIRVAN BUTCHER/THERESA
BUTCHER
1901 LARCH RD
COURTENAY BC V9J 1X7

COMOX VALLEY (REGIONAL DISTRICT)
600 COMOX RD
COURTENAY BC V9N 3P6

ISED
VANCOUVER ISLAND OFFICE
1230 GOVERNMENT STREET, ROOM 430
VICTORIA BC V8W 3M4

CYPRESS LAND SERVICES INC.
SUITE 1051, 409 GRANVILLE STREET
VANCOUVER, BC V6C 1T2

FREEDOM MOBILE
209 – 221 WEST ESPLANADE
NORTH VANCOUVER, BC V7M 3J3

K'OMOKS FIRST NATION
3330 COMOX RD
COURTENAY, BC V9N 3P8

BCC0001A
Total - 6

Appendix C: Envelope



c/o Cypress Land Services Inc.
Suite 1051 – 409 Granville Street
Vancouver, BC V6C 1T2

**IMPORTANT INFORMATION ENCLOSED REGARDING A PROPOSED TELECOMMUNICATIONS FACILITY WITHIN
105 METRES OF A PROPERTY YOU HAVE AN INTEREST IN**

Appendix 3: Newspaper Tear Sheets

BC Classifieds.com

...in your community, online and in print

ONLINE bcclassifieds@blackpress.ca
IN PRINT 1.866.865.4460

eEDITIONS Black Press Media
Read the complete newspaper online!

COMMUNITY ANNOUNCEMENTS

CELEBRATIONS



Eleanor Phillips


Will be celebrating her 90th Birthday this year, an Open House will be held for family and friends at 1089 Farquharson Drive Between 12:00 p.m. - 4:00 p.m. Saturday, June 9th

COMMUNITY ANNOUNCEMENTS

CELEBRATIONS

COMMUNITY ANNOUNCEMENTS

INFORMATION



Denied Long-Term Disability, CPP Disability, or other Insurance?

If YES, call or email for a FREE initial consultation and protect your right to compensation

Julie Fisher
604-937-6354
jfisher@dbmlaw.ca
www.dbmlaw.ca

COMMUNITY ANNOUNCEMENTS

LEGALS

NOTICE is hereby given that items in Headquarters Mini Storage, 4846 Headquarters Road, Courtenay, BC, of:

Todd K Williams, Unit#32 White Cargo Van License #UEJ 04R

Will be sold to cover storage and disposal costs if not paid in full by the 12th of June, 2018. Contact 250-334-9991

COMMUNITY ANNOUNCEMENTS

PERSONALS

NAR-ANON - Are you affected by someone's drugs use? We can help! Wednesday's, 7:30 p.m. Group at 280-4th Street Eureka Support Society Call Jack 250-334-3485 Friday's 7:30 p.m. Group at 3322 Comox Rd. Komok's Health Centre Call Vicki 250-338-2983

COMMUNITY ANNOUNCEMENTS

LEGALS

Georgia Straight Collision Ltd. AUCTION

Ends June 5, 2018 at 12pm
Closed Bid, Please drop off bids at 2317 Cousins rd, Georgia Straight Towing.

1990 Mazda B2200
Vin#jm2uf313610876646

2000 Pontiac Grand am
Vin#1g2nf52e6ym865025

COMMUNITY ANNOUNCEMENTS

LEGALS

In Need Of Selling Your RIDE?

Vehicle *Specials* Package

\$10.00 3 lines/
3 Neighbouring papers/
2 Weeks *private sales only

\$15.00 1 x 1 Boxed Ad - With photo/
3 Neighbouring papers/
2 weeks

BC Classifieds.com ONLINE bcclassifieds@blackpress.ca IN PRINT 1.866.865.4460
...in your community, online and in print eEDITIONS Black Press Media

LEGALS

CRIMINAL RECORD? Why suffer Employment/ Licensing loss? Travel/ Business opportunities? Be embarrassed? Think: Criminal Pardon, US Entry Waiver, Record Purge, File Destruction, Free Consultation 1-800-347-2540 accesslegalmf.com

PERSONALS

ALCOHOLICS ANONYMOUS
Call Day or Night Anytime
250-338-8042

Your Community, Your Classifieds
1-866-865-4460
BC Classifieds.com

LOST AND FOUND

FOUND: Child's quilted jacket. Found in Balmoral Ave park. (had been there for about two weeks) Call 250-890-3314 to identify.

LEGALS

LEGALS

LEGALS

LEGALS

LEGALS

LEGALS

LEGALS

Freedom mobile

Notice of Proposed Freedom Mobile Telecommunications Facility

Description: As part of the public consultation process required by the Innovation, Science and Economic Development Canada (ISED), Freedom Mobile is inviting the public to comment on a new wireless facility in the Comox Valley Regional District (CVRD), BC. Freedom Mobile is proposing to install a 35.0 metre monopole wireless communications structure in order to provide wireless data and voice communication services to the north end of Comox and surrounding rural areas.

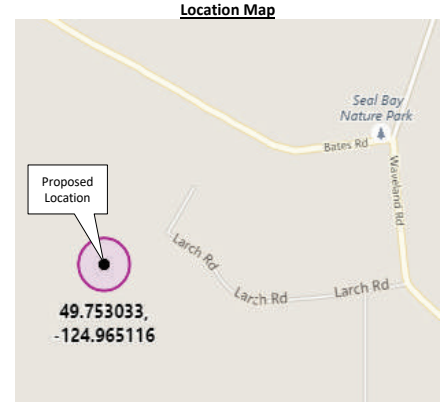
Proposed Tower Location: 1901 Larch Road, Courtenay, BC (Seal Bay RV Park and Campground) (PID: 000-076-155)
Coordinates: Latitude: N 49.753033°, Longitude: W -124.965116°

For More Information:
Tawny Verigin
c/o Cypress Land Services Inc.
Agents to Freedom Mobile
Suite 1051, 409 Granville Street
Vancouver, BC V6C 1T2
telephone: 1-855-301-1520
[e:publicconsultation@cypresslandservices.com](mailto:publicconsultation@cypresslandservices.com)

The public is welcome to comment on the proposal by the end of the business day on July 5, 2018 with respect to this matter.

Freedom Mobile Site: BCC0001A

Location Map



Property Tax Notices

City of Courtenay property tax notices were mailed on Tuesday, May 22, 2018. If you do not receive your notice within a reasonable time, please contact City of Courtenay Financial Services at 250-334-4441 or email finance@courtenay.ca

Online options:
Home Owner Grants & Property tax payments
courtenay.ca/tax

Other options:
Home Owner Grants
Fill out the home owner grant application on the back of the property tax notice, then mail, fax, or drop off to City Hall.

Tax Payments

- In person at City Hall or at your financial institution. Credit cards not accepted. If using a debit card, please ensure your daily transaction limit is sufficient.
- By mail Cheques payable to "City of Courtenay". Date of postmark is NOT accepted as date of payment.
- After-hours mail slot: Drop box at City Hall main entrance (cheques only, no cash).

Property tax due date:
July 3, 2018
4:30 pm

Tax payments and Home Owner Grant applications **MUST** be received by the City of Courtenay by 4:30 pm on Tuesday, July 3, 2018 to avoid a 10% late penalty.

Questions?
finance@courtenay.ca
250-334-4441



CITY OF COURTENAY
Financial Services
follow us   courtenay.ca/tax

DON'T FEAR!
Your

NEW CAREER



STARTS HERE!

 /localwork-bc
 @localwork-bc

LocalWork.ca
YOUR BEST SOURCE FOR LOCAL JOBS

BC Classifieds.com

...in your community, online and in print

ONLINE bclassifieds@blackpress.ca
IN PRINT 1.866.865.4460

eEDITIONS Black Press Media
Read the complete newspaper online!

COMMUNITY ANNOUNCEMENTS LEGALS CRIMINAL RECORD? Why suffer Employment/Licensing loss? Travel/Business opportunities? Be embarrassed? Think: Criminal Pardon, US Entry Waiver, Record Purge. File Destruction. Free Consultation 1-800-347-2540 accesslegalnjf.com	EMPLOYMENT/EDUCATION BUSINESS OPPORTUNITIES RESTRICTIONS WALKING OR GETTING DRESSED? Hip or knee Replacement? The Disability Tax Credit \$1,500 Yearly Tax Credit. \$15,000 Lump Sum Refund (on avg). For assistance call: 1-844-453-5372.	EMPLOYMENT/EDUCATION CAREER OPPORTUNITIES MEDICAL TRANSCRIPTION! In-demand career! Employers have work-at-home positions available. Get online training you need from an employer-trusted program. Visit: CareerStep.ca/MT or 1-855-768-3362 to start training for your work-at-home career today!	EMPLOYMENT/EDUCATION EDUCATION/TRADE SCHOOLS Psychiatric Nursing Diploma Online-based program with clinical placements and practicums in your local community. Earn \$33.40-\$43.84/hr as a Psychiatric Nurse. Recognized by the College of Registered Psychiatric Nurses of BC. stenbergcollege.com Toll Free: 1-877-836-2374	EMPLOYMENT/EDUCATION HELP WANTED Full/Part Time Farm/Shop Hand We have accommodation available for individual (or couple) who would help us on our farm & welding shop in the Vernon area. Position is 20 - 40 hrs/week depending upon Season. Farm experience and ability to operate tractor / equipment required. Shop experience and ability to weld would be an asset. Direct inquiries & interest email Resume: jritknight@telus.net	PERSONAL SERVICES FINANCIAL SERVICES GET BACK ON TRACK! Bad credit? Bills? Unemployed? Need Money? We Lend! If you own your own home - you qualify. Pioneer Acceptance Corp. Member BBB. 1-877-987-1420 www.pioneerwest.com	HOME/BUSINESS SERVICES GARDENING Summer Services Same Day Service, Fully Insured FREE ESTIMATES • Lawn Maintenance • Fertilizing • Yard Clean-ups • Aeration • Pruning/Hedges • Power Raking • Rubbish Removal • Gardening • Yearly Maintenance Programs • Jim's Mowing 310-JIMS (5467) BOOK A JOB AT www.jimsmowing.ca
PERSONALS ALCOHOLICS ANONYMOUS Call Day or Night Anytime 250-338-8042	CAREER OPPORTUNITIES SANDMAN INNS RURAL BC recruiting management couples, both full-time and part-time roles available. Ask us about our great employee perks and accommodation. Apply on https://sandmanhotels.prevueaps.com	eEDITIONS Read the complete newspaper online!		HOME STAY FAMILIES Western Canada HomeStay Ltd. HOMESTAY FAMILIES NEEDED for Japanese boys for July 25 th - August 11 th Stipend paid. Louise 250-334-1501	HOME/BUSINESS SERVICES CARPENTRY 250-650-1333 SKILLED carpenter. Licensed & certified. Free estimates. Call Doug www.suncrestholdings.ca	Your Career Starts Here LocalWork.ca YOUR BEST SOURCE FOR LOCAL JOBS
COMMUNITY ANNOUNCEMENTS CELEBRATIONS NAR-ANON - Are you affected by someone's drugs use? We can help! Wednesday's, 7:30 p.m. Group at 280-4 th Street Eureka Support Society Call Jack 250-334-3485 Friday's 7:30 p.m. Group at 3322 Comox Rd. Komok's Health Centre Call Vicki 250-338-2983	COMMUNITY ANNOUNCEMENTS CELEBRATIONS	COMMUNITY ANNOUNCEMENTS CELEBRATIONS	COMMUNITY ANNOUNCEMENTS CELEBRATIONS	COMMUNITY ANNOUNCEMENTS INFORMATION New JOBS posted daily LocalWork.ca YOUR BEST SOURCE FOR LOCAL JOBS	EMPLOYMENT/EDUCATION CAREER OPPORTUNITIES RELIABLE AUTO PARTS Parts Counter Person Campbell River, BC CRES LTD/NAPA AUTO PARTS is looking for a talented sales professional to take on an exciting and challenging role of Automotive Parts Counter Person at our NAPA Auto Parts associate store in Campbell River, BC. Reply by email only to: cres1986@telus.net	EMPLOYMENT/EDUCATION CAREER OPPORTUNITIES Instructor, Heavy Duty Mechanical Campbell River Campus Please go to http://careers.nic.bc.ca for further criteria, required qualifications and information on how to apply to posting #101850. NORTH ISLAND COLLEGE

Congratulations
on your 70th Anniversary!
Chuck & Mary Stemin
June 12, 2018



Love from Pat, Jon, Charlotte & Families

Freedom mobile

Notice of Proposed Freedom Mobile Telecommunications Facility & Public Meeting

Description: As part of the public consultation process required by the Innovation, Science and Economic Development Canada (ISED), Freedom Mobile is inviting the public to comment on a new wireless facility in the Comox Valley Regional District (CVRD), BC. Freedom Mobile is proposing to install a 35.0 metre monopole wireless communications structure in order to provide wireless data and voice communication services to the north end of Comox and surrounding rural areas.

Proposed Tower Location: 1901 Larch Road, Courtenay, BC (Seal Bay RV Park and Campground) (PID: 000-076-155)

Coordinates: Latitude: N 49.753033°, Longitude: W -124.965116°

Freedom Mobile is inviting the public to a Public Meeting:
Date: Wednesday, June 27, 2018
From: 5:30 pm to 7:00 pm

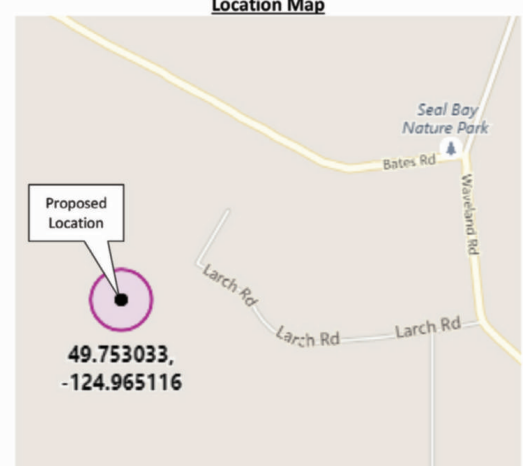
Meeting Location: Common Room at the Seal Bay RV Park and Campground, 1901 Larch Rd, Courtenay, BC V9J 1X7

For More Information:
Tawny Verigin
c/o Cypress Land Services Inc.
Agents to Freedom Mobile
Suite 1051, 409 Granville Street
Vancouver, BC V6C 1T2
telephone: 1-855-301-1520
[e:publicconsultation@cypresslandservices.com](mailto:publicconsultation@cypresslandservices.com)

The public is welcome to comment on the proposal by the end of the business day on July 5, 2018 with respect to this matter.

Freedom Mobile Site: BCC0001A

Location Map



49.753033,
-124.965116

Instructor, Heavy Duty Mechanical

Campbell River Campus

Please go to <http://careers.nic.bc.ca> for further criteria, required qualifications and information on how to apply to posting #101850.

NORTH ISLAND COLLEGE

RELIABLE

Detailer & Shop Help

Detailer & Shop Help required for busy collision repair shop. Full-time, exp. not required - this is an entry level position, must have a valid driver's licence. Please note, only applicants selected for an interview will be contacted. Please submit by Friday, June 22, 2018

Please send cover letter and resume to:
CSN ~ Reliable Auto Body
787 Cumberland Road
Courtenay, BC V9N 2E1
Fax: 250-334-3668
reliableautobody1@telus.net
Page 216 of 222

Appendix 4: Meeting Sign In

MEETING SIGN-IN SHEET

Site: BCC0001A	Meeting Date: Wednesday, June 27, 2018
Site Description: 1901 Larch Road, Courtenay, BC 35 metre monopole wireless communications facility	Meeting Location: 1901 Larch Road, Courtenay, BC (Common Room at the Seal Bay RV Park and Campground)
	Meeting Time: 5:30pm – 7:00pm

Name	Address	Phone	E-Mail
Jodi MacLean	28 Neptune Way, Comox	334-6041	jmaclean@comoxvalleyrd.ca

Appendix 5: Comments & Responses Tracker

Comments & Responses Tracker								
BCC0001A								
Name of Resident	Address	Email	Date Message Received	Email, Letter, Comment Sheet or Voice Message	Comment or Question	Support / Non-support / Neutral	Response to Comment or Question	Date Response Sent
Danielle Fortosky		danielle.fortosky@usask.ca	01-Jun	email	<p>1. Do you feel this is an appropriate location for the proposed facility?</p> <p><input type="radio"/> Yes <input checked="" type="radio"/> No</p> <p>2. Are you satisfied with the appearance / design of the proposed facility? If not, what changes would you suggest?</p> <p><input type="radio"/> Yes <input checked="" type="radio"/> No</p> <p>3. Additional Comments: Need a strategy for these mobile towers - Establish policy on aesthetics and develop a plan to cluster these towers together within a framework of criteria that considers the effects in the community.</p>	non-support	<p>Hi Danielle,</p> <p>Thank you for providing your comments regarding the proposed Freedom Mobile wireless communications facility at 1901 Larch Road in Courtenay.</p> <p>As the Comox Valley Regional District (CVRD), does not have a telecommunications policy, we are required to follow the federal policy CPC-2-0-03 — Radiocommunication and Broadcasting Antenna Systems client procedures circular, as mandated by ISED. If the CVRD had an adopted telecommunications policy, we would follow any criteria noted regarding proposed location and design.</p> <p>We feel the location of the proposed tower is appropriate as it is well set back at the northwest corner of the property against a mature treed backdrop which will screen a portion of the tower. The monopole and antennas can be painted green to further camouflage the tower in with the trees.</p> <p>We appreciate your comments and will share them with the CVRD to consider. Should you have any further questions or concerns, please do not hesitate to contact us.</p> <p>Sincerely,</p> <p>Tawny Verigin Municipal Affairs Specialist Cypress Land Services Inc. Agents for Freedom Mobile</p>	04-Jun
Peter and Paris Smith	2319 Waveland Rd, Courtenay, BC	countrydogs@outlook.com	18-Jun	email	<p>Dear Agents to Freedom Mobile,</p> <p>We would like to express our support for your proposed cell tower on Larch Rd, Courtenay, BC. We are residents in this neighbourhood. We have very poor reception from other wireless communication providers. We rely on cell phone communication for our personal lives the business. My wife uses her cell phone as an integral part of her small business. Without cell service it is hampering economic development in our area, on our part and our neighbours. We also have trades people come to the house and be unable to contact people they need to interact with to perform their jobs.</p> <p>Regards, Peter and Paris Smith 2319 Waveland Rd Courtenay, BC</p>	support	<p>Good morning Peter and Paris,</p> <p>Thank you for providing your comment regarding the proposed Freedom Mobile wireless communications facility in Courtenay, BC. We appreciate your support for the project and will share your comments with the CVRD for consideration.</p> <p>Should you have any further questions or comments, please do not hesitate to contact us.</p> <p>Sincerely,</p> <p>Tawny Verigin Municipal Affairs Specialist Cypress Land Services Inc. Agents for Freedom Mobile</p>	18-Jun
Dawn Ringrose	2289 Seabank Road, Courtenay, BC V9J 1Y1	dawn.ringrose@shaw.ca	18-Jun	email	<p>Dear Agents for Freedom Mobile,</p> <p>I would like to express my support for the proposed cell tower on Larch Rd, Courtenay, BC. As a resident in the neighbourhood, I have tried several providers (e.g. Virgin, Bell, Rogers) and experienced very poor reception.</p> <p>There are two people in our household that rely on cell phone communication for their personal and (entrepreneurial) business life.</p> <p>Regards, Dawn Ringrose 2289 Seabank Road Courtenay, BC</p>	support	<p>Good afternoon Dawn,</p> <p>Thank you for providing your comment regarding the proposed Freedom Mobile wireless communications facility in Courtenay, BC. We appreciate your support for the project and will share your comments with the CVRD for consideration.</p> <p>Should you have any further questions or comments, please do not hesitate to contact us.</p> <p>Sincerely,</p> <p>Tawny Verigin Municipal Affairs Specialist Cypress Land Services Inc. Agents for Freedom Mobile</p>	18-Jun
Duane & Pat McLeod	2272 Waveland Rd	shopwidow@hotmail.com	18-Jun	email	<p>W We would like to express our support for your proposed cell tower on Larch Rd, Courtenay, BC. We are residents in this neighbourhood. We rely on cell phone communication and are excited that you are considering this tower as our current service is extremely poor which is a huge source of frustration at the very least in this day and age.</p> <p>Our address 2272 Waveland Rd</p> <p>Thank you,</p> <p>Duane & Pat McLeod</p> <p>Sent from Mail for Windows 10</p>	support	<p>Good afternoon Duane & Pat McLeod,</p> <p>Thank you for providing your comments regarding the proposed Freedom Mobile wireless communications facility in Courtenay, BC. We appreciate your support for the project and will share your comments with the CVRD for consideration.</p> <p>Should you have any further questions or comments, please do not hesitate to contact us.</p> <p>Sincerely,</p> <p>Tawny Verigin Municipal Affairs Specialist Cypress Land Services Inc. Agents for Freedom Mobile</p>	19-Jun
Monty Horton	Courtenay, BC	lands.manager@komoks.ca	03-Jul	email	<p>In response to your referral dated May 30, 2018, K'omoks First Nation has no comments or concerns regarding the proposed works.</p> <p>Monty Horton Lands Manager K'omoks First Nation Courtenay, BC Cell: 250-937-9195 Work: 250-339-4545</p>	support	<p>Good afternoon Monty,</p> <p>Thank you for providing your comments regarding the proposed Freedom Mobile wireless communications facility in Courtenay, BC. We appreciate your support for the project and will share your comments with the CVRD for consideration.</p> <p>Should you have any further questions or comments, please do not hesitate to contact us.</p> <p>Sincerely,</p> <p>Tawny Verigin Municipal Affairs Specialist Cypress Land Services Inc.</p>	04-Jul

4	Support
1	Non-support
0	Neutral
5	Total

Appendix 6: Sample Resolution

Resolution

WHEREAS Freedom Mobile proposes to erect a wireless communications facility at the location of 1901 Larch Road, Courtney, BC.

AND WHEREAS proponents of telecommunication towers are regulated by Innovation, Science and Economic Development Canada (ISED), formerly Industry Canada on behalf of the Government of Canada and as part of their approval, ISED requires proponents to consult with land use authorities as provided for in CPC-2-0-03;

AND WHEREAS Freedom Mobile has consulted with the Comox Valley Regional District following the CPC-2-0-03 and the Comox Valley Regional District planning staff have no objection to the proposed telecommunications tower;

AND WHEREAS Freedom Mobile has consulted with the public by notifying properties within three times the tower height, placing newspaper notices in the local paper, held a public meeting and has provided a 30-day period for written public comment;

AND WHEREAS there are no significant land use issues identified by the consultation;

NOW THEREFORE BE IT RESOLVED THAT:

1. The Clerk be instructed to advise Freedom Mobile that:
 - a) Freedom Mobile has satisfactorily completed its consultation with the Comox Valley Regional District;
 - b) The Comox Valley Regional District is satisfied with Freedom Mobile's public consultation process and does not require any further consultation with the public; and
 - c) The Comox Valley Regional District concurs with Freedom Mobile's proposal to construct a wireless telecommunications facility provided it is constructed substantially in accordance with the plans submitted to the Comox Valley Regional District.